

PROPOSED COMMERCIAL DEVELOPMENT

AIR RANCH PLAZA

Okotoks, Alberta

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD., THE COPYRIGHT BEING RESERVED TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD., AND WHEN MADE, MUST BEAR ITS NAME.

THIS DRAWING MUST NOT BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8982
E-MAIL: adal@telus.net

RECEIVED-DIGITALLY

June 23, 2022
DP# 128-22

TOWN OF OKOTOKS

[illegible]

3	2022-06-23	RE-ISSUED FOR DEVELOPMENT PERMIT
2	2022-04-22	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP

No.	DATE	DESCRIPTION
ISSUED FOR / REVISIONS Δ		

ISSUED FOR / REVISIONS 

ARUP DATTA
ARCHITECT LTD.

17 - 17th AVENUE S.W., CALGARY, ALBERTA
T2M 0A5 Tel: (403) 244-8818 Fax: (403) 244-8882

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: **1688**

PROJECT:

AIR RANCH PLAZA

OKOTOKS, ALBERTA

DRAWING:

COVER SHEET

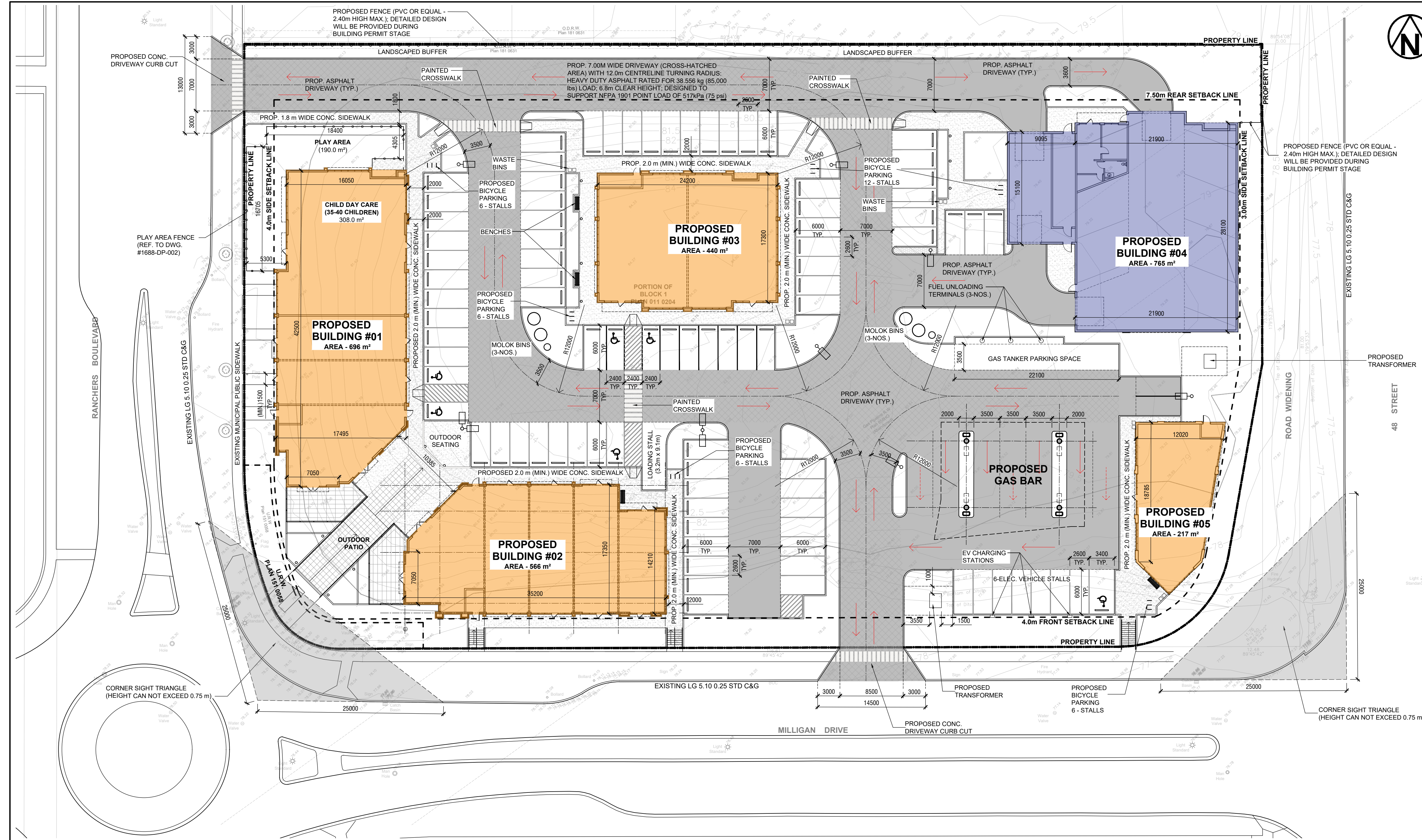
DRAWING #:

1688- DP-000

SCALE: N.T.S.

DESIGN BY:	DRAWN BY:	CHECKED BY:
AD	CS	AD

W:\Projects\1688- Okotoks Air Ranch - Phase 15 (Paving)\Civil\Development Permit\Working\1688-001 - Site Plan.dwg 08/16/2023 Chris



PROJECT INFORMATION:

Municipal Address:

Legal Address: Lot 62, Block 1, Plan 011 0204
Okotoks, Alberta

Parcel Area: +/- 1.09 ha (10,900 m²)

Existing Zoning: General Commercial (GC) District

Proposed Zoning: General Commercial (GC) District

Setback:

Primary Frontage	-	4.0 m
Secondary Frontage	-	4.0 m
Side	-	3.0 m
Rear	-	7.5 m

Building Height:

Allowed (Max.)	-	4 storeys
Proposed (Max.)	-	1-storey

Gross Floor Area:

1. Building #01	-	696 m² (7,492 ft²)
2. Building #02	-	566 m² (6,062 ft²)
3. Building #03	-	440 m² (4,736 ft²)
4. Building #04	-	765 m² (8,234 ft²)
5. Building #05	-	217 m² (2,335 ft²)
TOTAL	-	2,734 m² (29,427 ft²)

FAR

Allowed (Max.):	-	
Proposed:	-	0.25

Building Coverage:

-	-	27.7% (3,021 m²)
---	---	------------------

Landscaped Area:

-	-	18.55% (2,022 m²)
---	---	-------------------

Proposed Use:

1. Building #01	-	Retail Spaces
	-	Child Day Care (55-60 children)
2. Building #02	-	Retail Spaces
3. Building #03	-	Retail / Office Spaces
4. Building #04	-	Car Wash
5. Building #05	-	Convenience Store

Vehicle Parking:

Stalls Provided	-	88 stalls (incl. 6 B.F. stalls)
-----------------	---	---------------------------------

Parking Area:

Max. Allowed	-	5,450 m² (50 %)
Proposed	-	1,438 m² (13.2 %)

Loading Stalls Provided

-	-	1 stall
---	---	---------

Bicycle Parking Requirement:

For building less than 4,500 m²	-	6 stalls per building
---------------------------------	---	-----------------------

Bicycle Parking Provided:

5 Buildings (@6 stalls/building)	-	30 stalls
----------------------------------	---	-----------

Waste & Recycling:

-	-	Molok Bins
---	---	------------

Parking Space for Child Care:

Required (@ 1stall per 10 children)	-	6 stalls
-------------------------------------	---	----------

Child Care Outdoor Play Area

The outdoor space must accommodate at least 50 per cent of the licensed capacity at a level of not less than two square metres for each infant and not less than 4.5 square metres for each child who is 19 months of age or over.

Proposed maximum capacity

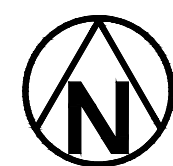
50% (max. capacity)	-	60 children
30 children @ 4.5 m²	-	30 children
	-	135 m²

Required Outdoor Play Space (min.)

-	-	135 m²
---	---	--------

Proposed Outdoor Play Space

-	-	190 m²
---	---	--------



DRAWING LIST:

ARCHITECTURAL

- 1688-DP-000 - COVER SHEET
- 1688-DP-001 - SITE PLAN & PROJECT INFORMATION
- 1688-DP-002 - SITE DETAILS
- 1688-DP-003 - OVERALL ROOF PLAN
- 1688-DP-004 - PHASING PLAN
- 1688-DP-005 - VEHICLE PATH: FIRE TRUCK & FUEL TANKER
- 1688-DP-006 - VEHICLE PATH: GARBAGE TRUCK (MOLOK)
- 1688-DP-007 - VEHICLE PATH: LOADING & L.S.U. (CARWASH)

- 1688-DP-1-100 - BUILDING 1: FLOOR PLAN & ELEVATIONS
- 1688-DP-2-100 - BUILDING 2: FLOOR PLAN & ELEVATIONS
- 1688-DP-3-100 - BUILDING 3: FLOOR PLAN & ELEVATIONS
- 1688-DP-4-100 - BUILDING 4: FLOOR PLAN & ELEVATIONS
- 1688-DP-4-200 - BUILDING 4: ELEVATIONS
- 1688-DP-5-100 - BUILDING 5: FLOOR PLAN & ELEVATIONS
- 1688-DP-6-100 - GAS BAR: FLOOR PLAN & ELEVATIONS

SURVEY

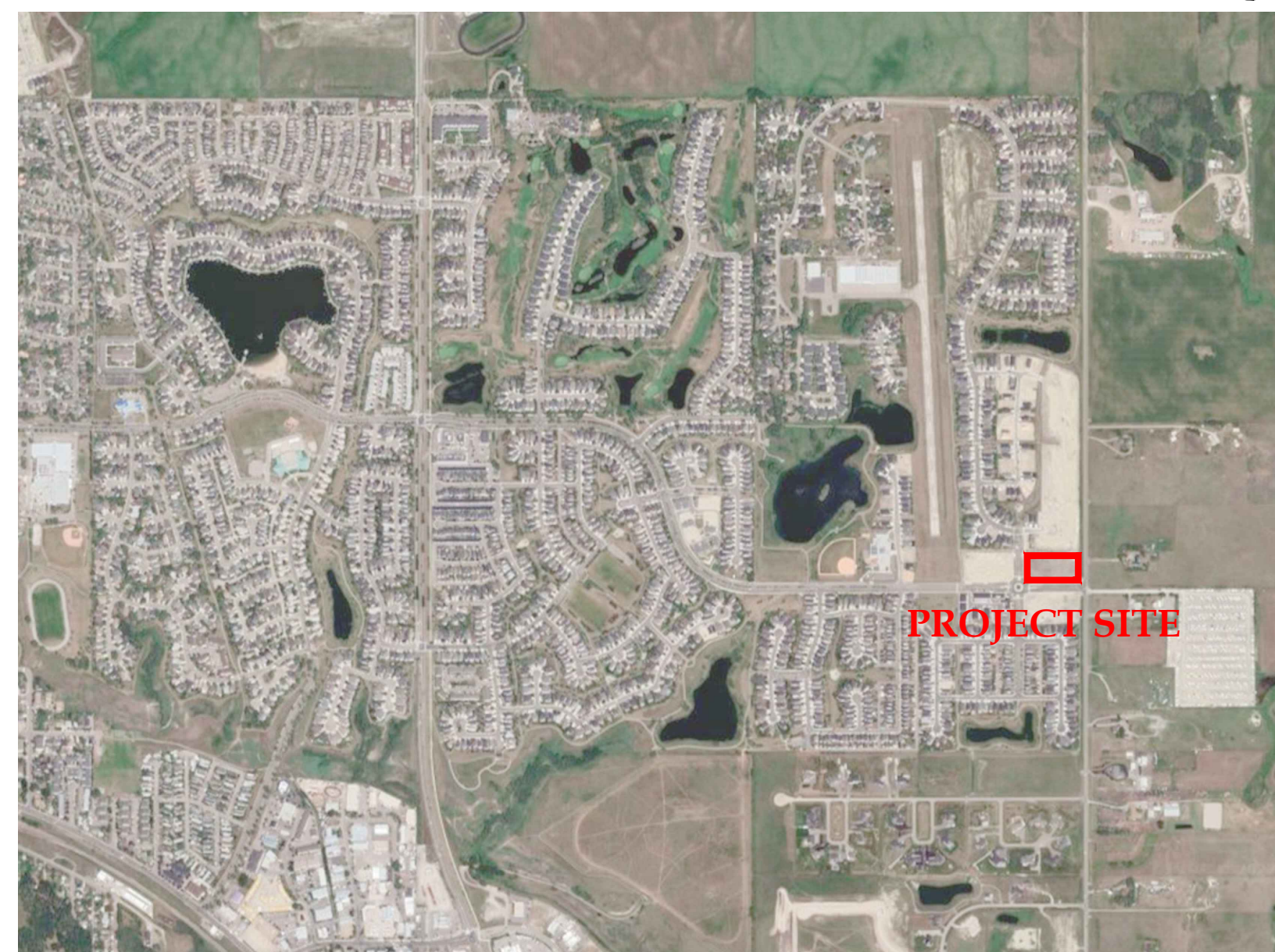
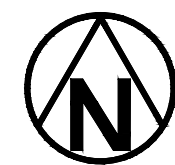
CIVIL:

- SP1 - SITE SERVICING PLAN
- SP2 - SITE GRADING PLAN

LANDSCAPE:

- DPL-1 - LANDSCAPING PLAN
- DPL-2 - DETAILS & CUT SHEETS

ELECTRICAL:



2 LOCATION MAP

N.T.S.

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAR ITS NAME.
THIS DRAWING MUST NOT BE SCALED.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8982
E-MAIL: adatt@arup.com

RECEIVED-DIGITALLY

June 23, 2022
DP# 128-22

TOWN OF OKOTOKS

3	2022-06-23	REVISED FOR DEVELOPMENT PERMIT
2	2022-04-22	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP
NO.	DATE	DESCRIPTION

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
107, 17th Avenue S.W., Calgary, Alberta
T2S 0A5 Tel: (403) 244-8818 Fax: (403) 244-8982
ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: **1688**

PROJECT:

AIR RANCH PLAZA

OKOTOKS, ALBERTA

DRAWING:

SITE PLAN

PROJECT INFORMATION

DRAWING #:

1688- DP-001

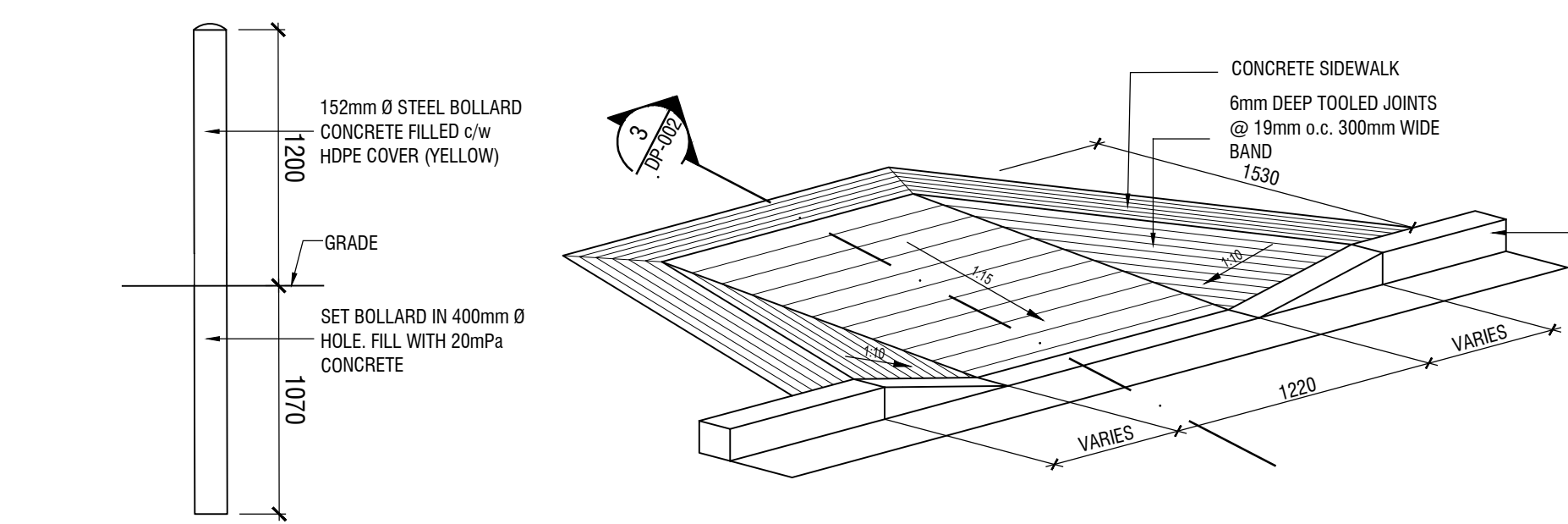
SCALE: 1:300 M

DESIGN BY: CS

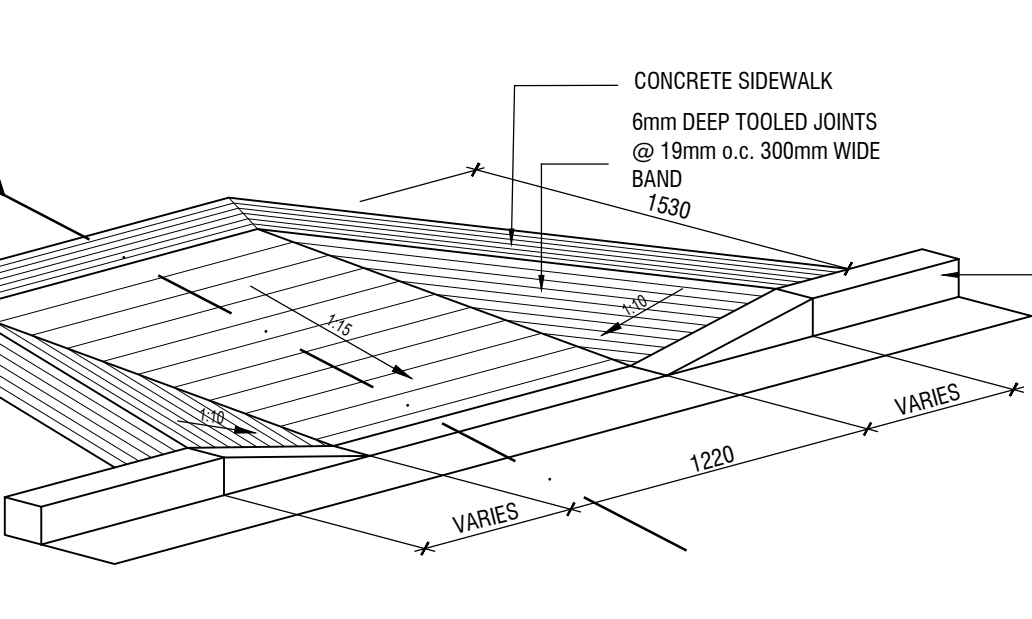
AD

DRAWN BY: CS

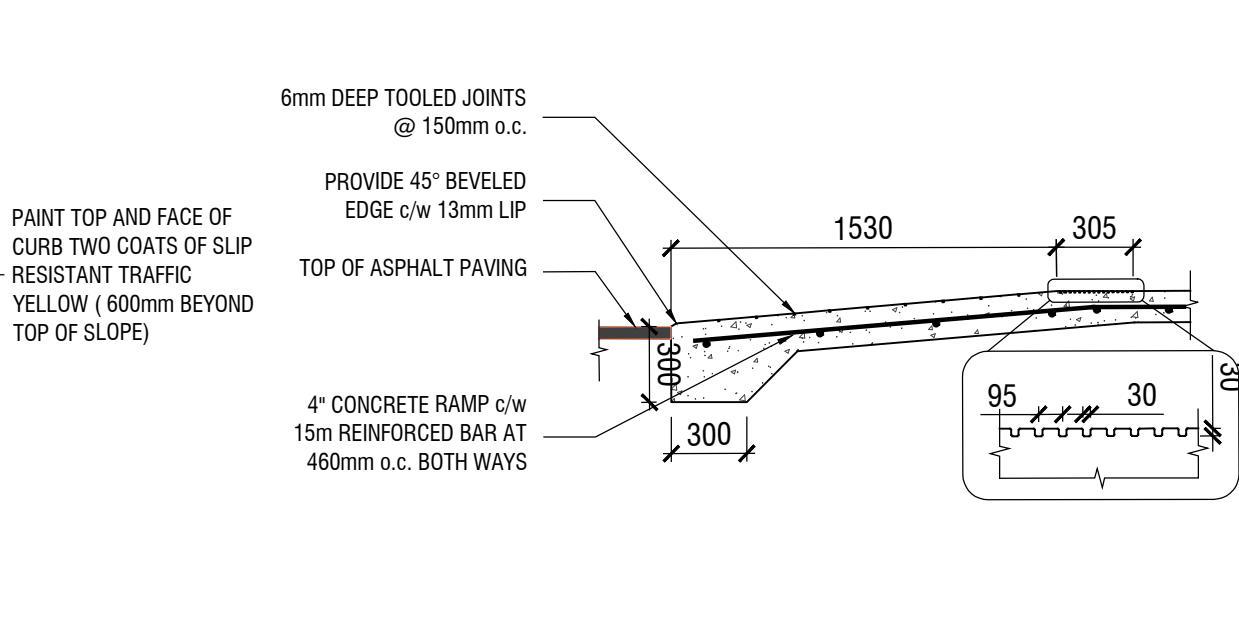
CHECKED BY: AD



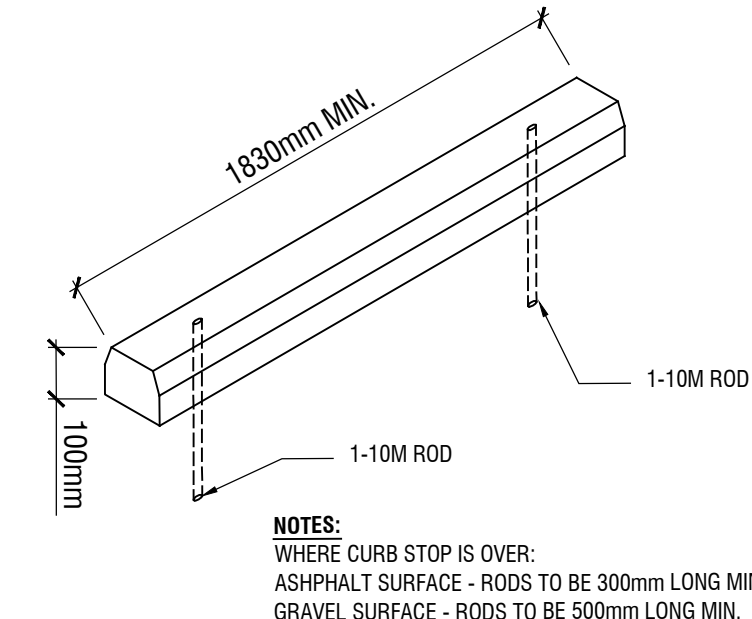
1 BOLLARD DETAIL
SCALE 1:30



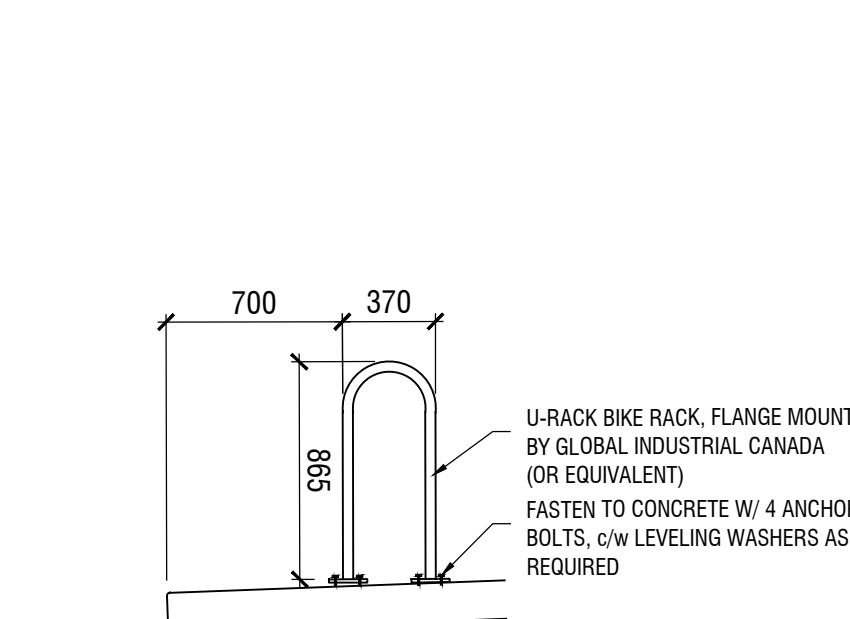
2 CURB DEPRESSION DETAIL
SCALE 1:30



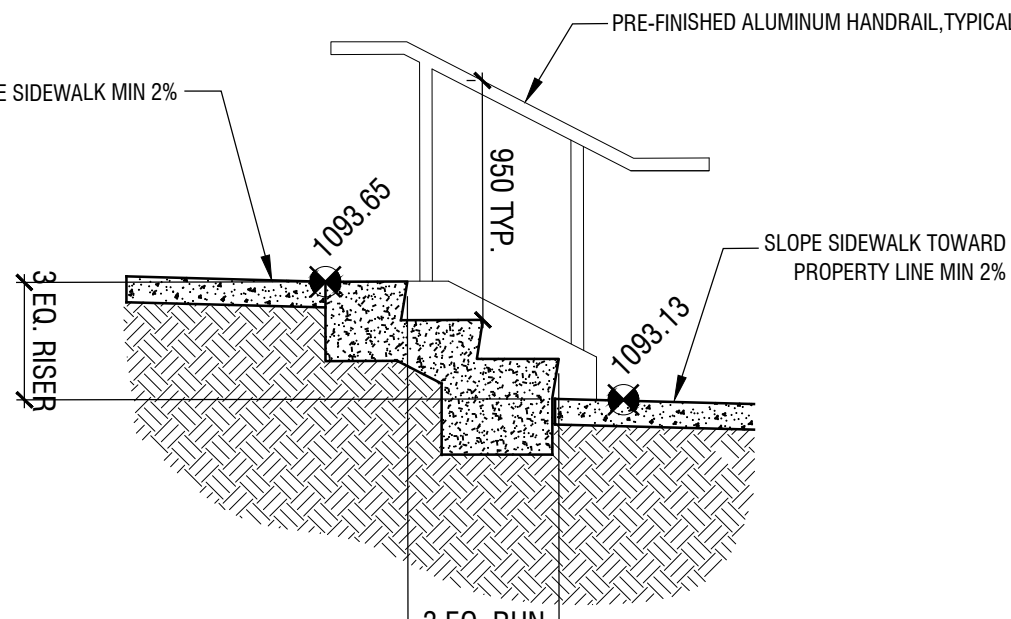
3 CURB DEPRESSION SECTION DETAIL
SCALE 1:30



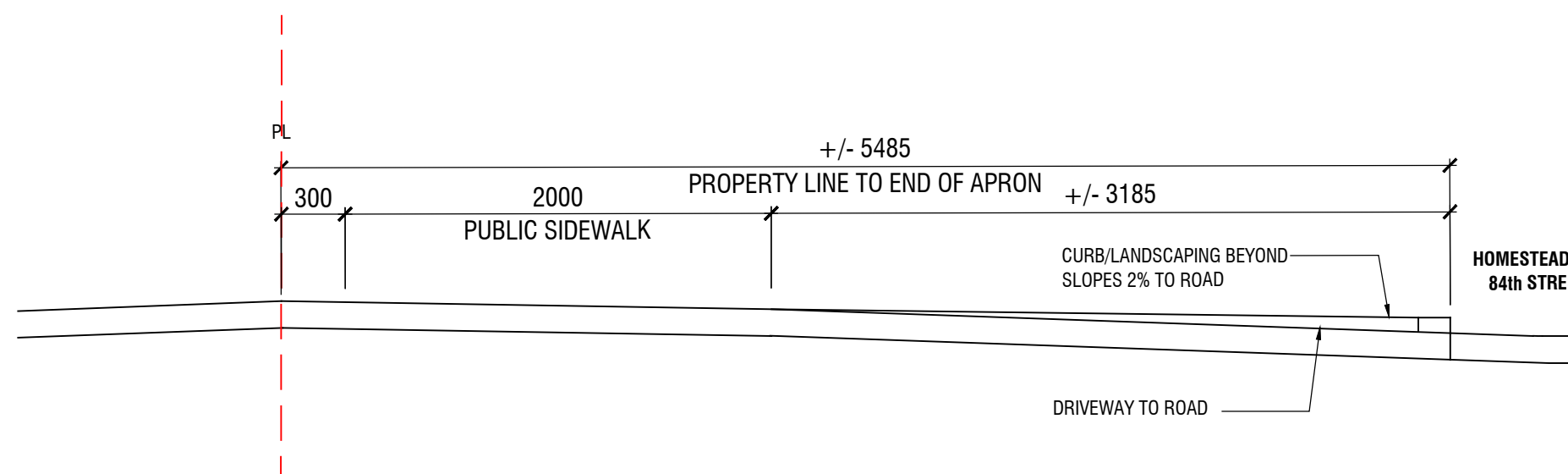
4 WHEEL STOP DETAIL
SCALE 1:30



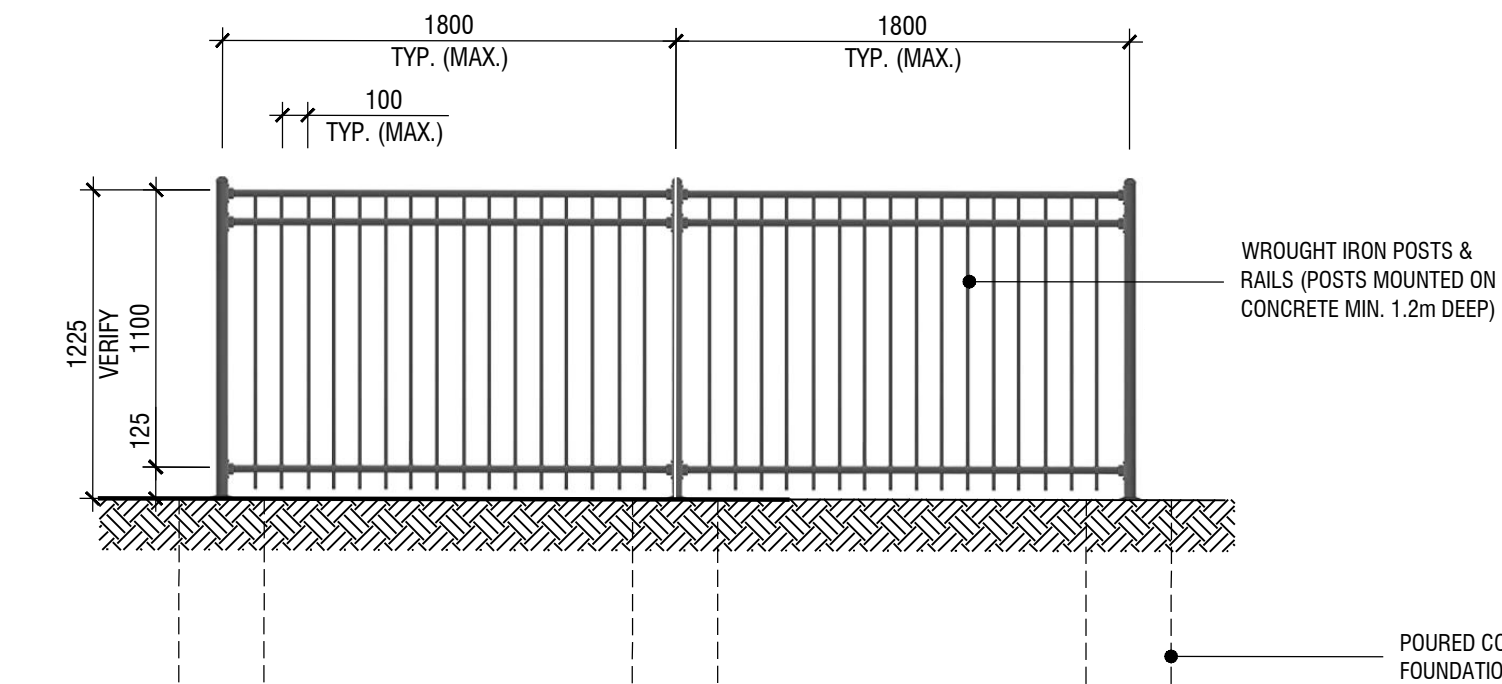
5 "U" RACK - CLASS 2 BIKE PARKING
SCALE 1:30



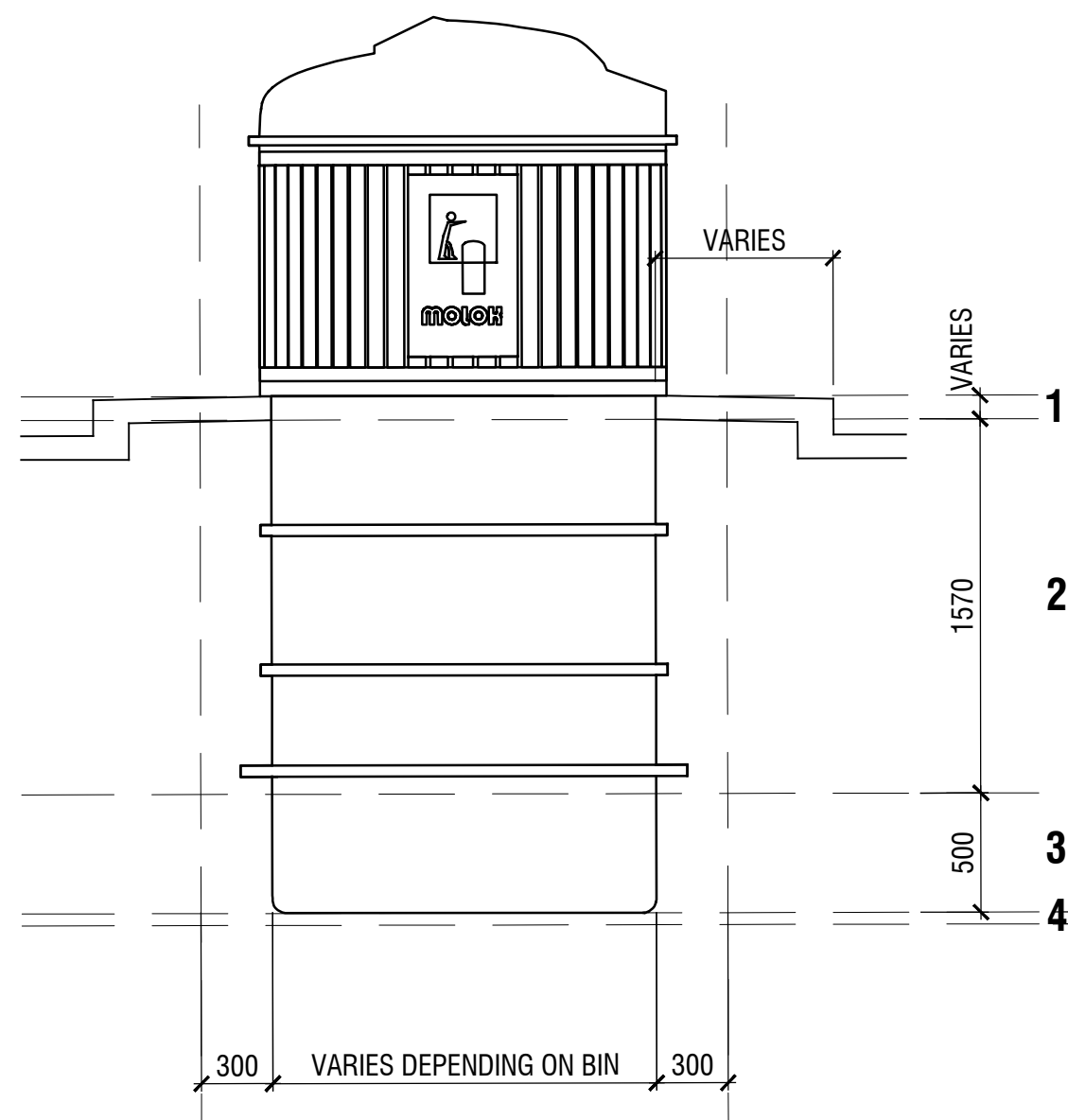
6 EXTERIOR STAIR DETAIL
SCALE 1:30



7 DRIVEWAY APRON SECTION DETAIL
SCALE 1:30



8 PLAY AREA FENCE DETAIL
SCALE 1:30



9 MOLOK BIN SECTION DETAIL
SCALE 1:30



10 OUTDOOR TALL BOLLARD LIGHT
SCALE N.T.S.

NOTES:
OUTDOOR FURNITURE AND FIXTURES ARE FOR ILLUSTRATION PURPOSES ONLY. COLORS AND DESIGN WILL BE SELECTED AT THE BUILDING PERMIT STAGE.



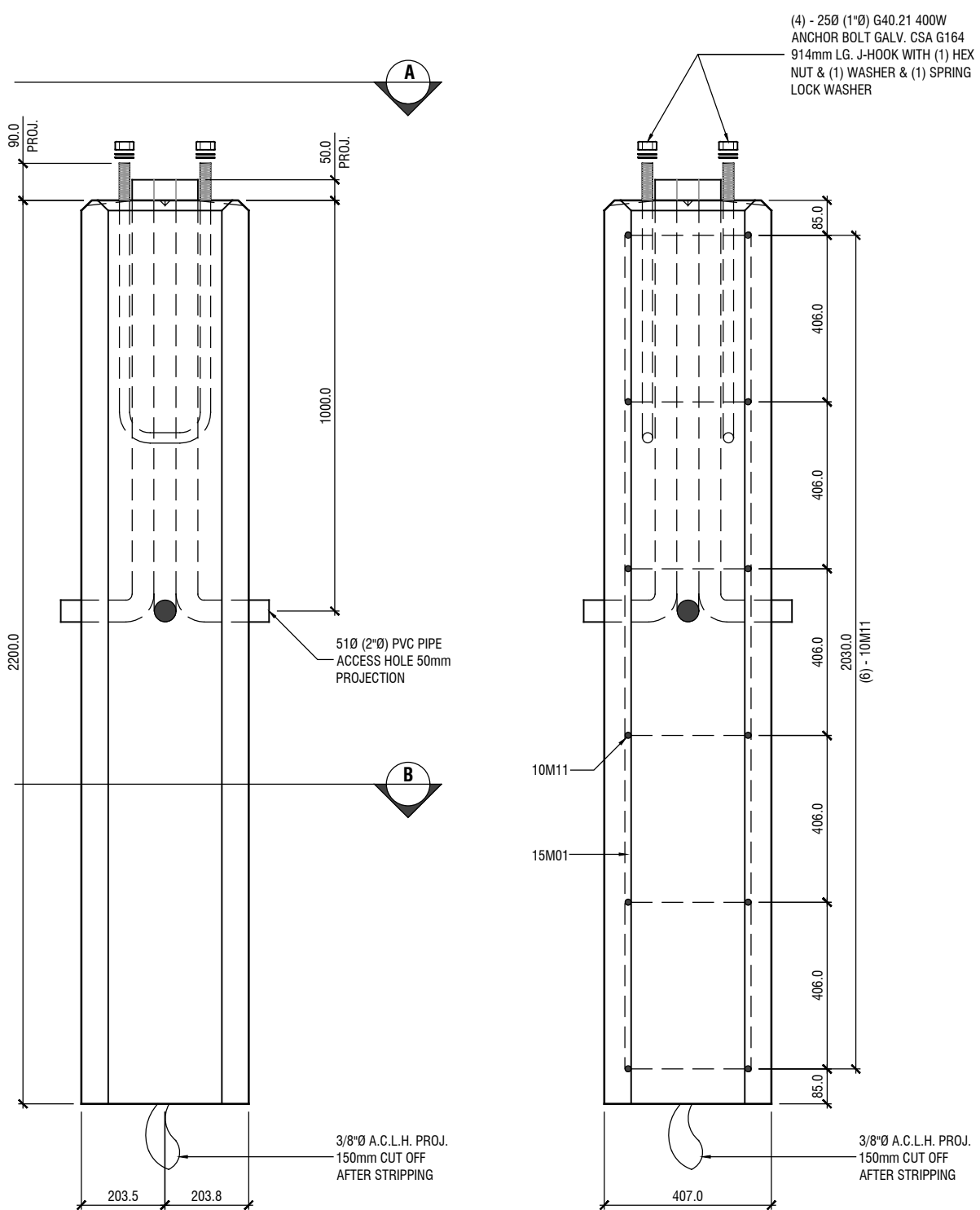
11 OUTDOOR SHORT BOLLARD LIGHT
SCALE N.T.S.



12 WASTE BIN STORAGE
SCALE N.T.S.

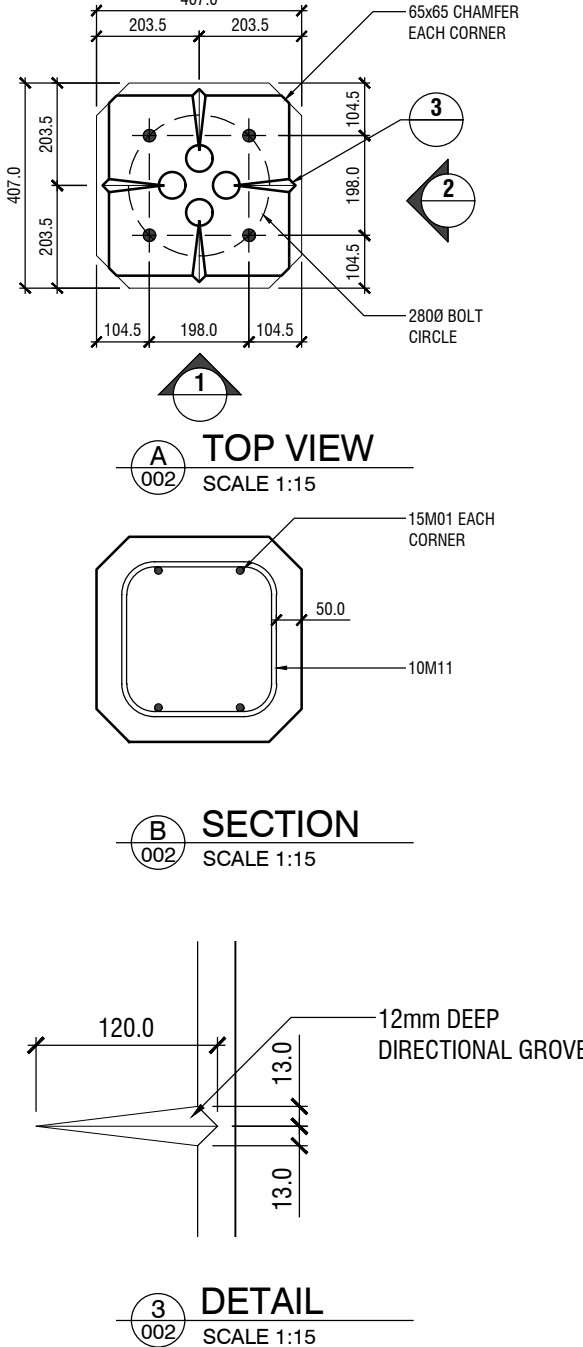


13 BENCH SEATING
SCALE N.T.S.



1 ELEVATION
SCALE 1:15

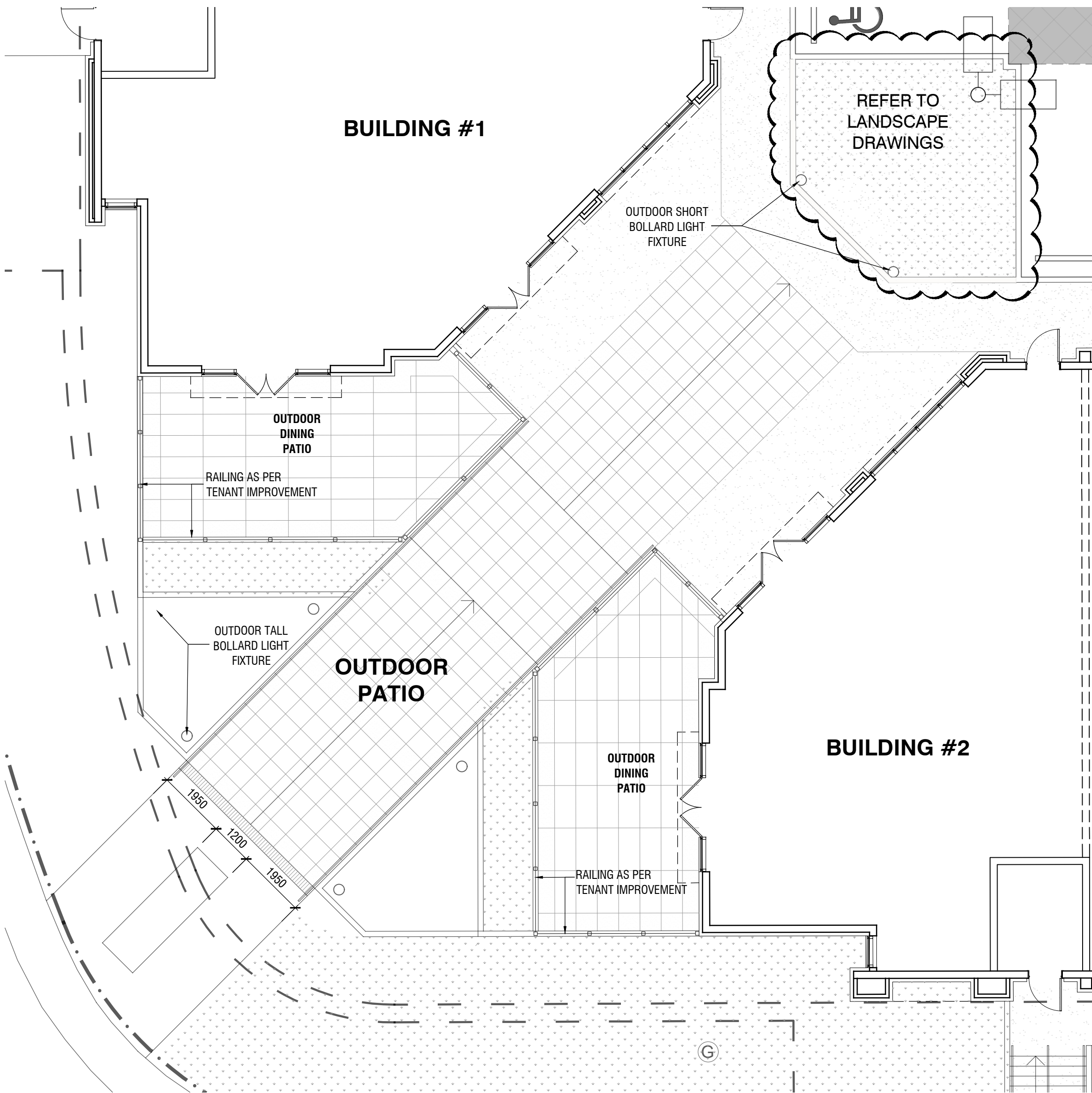
1 ELEVATION
SCALE 1:15



1 TOP VIEW
SCALE 1:15

2 SECTION
SCALE 1:15

3 DETAIL
SCALE 1:15



15 OUTDOOR PATIO DETAIL
SCALE 1:100

NOTES:
OUTDOOR PATIO TO BE COORDINATED WITH THE LANDSCAPING DESIGN.

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAR ITS NAME.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.
PRIME CONSULTANT:
ARCHITECTURAL
ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8882
E-MAIL: arup@arup.net

RECEIVED-DIGITALLY
June 23, 2022
DP# 128-22
TOWN OF OKOTOKS

NO.	DATE	DESCRIPTION
3	2022-09-23	REV. ISSUED FOR DEVELOPMENT PERMIT
2	2022-04-22	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP
ISSUED FOR / REVISIONS		
ARUP DATTA ARCHITECT LTD.		
ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN		

PROJECT #: 1688

PROJECT:

AIR RANCH PLAZA

OKOTOKS, ALBERTA

DRAWING:

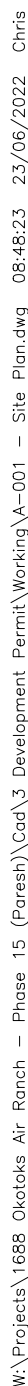
SITE DETAILS

DRAWING #:

1688- DP-002

SCALE: 1:30 M

DESIGN BY: AD
DRAWN BY: CS
CHECKED BY: AD

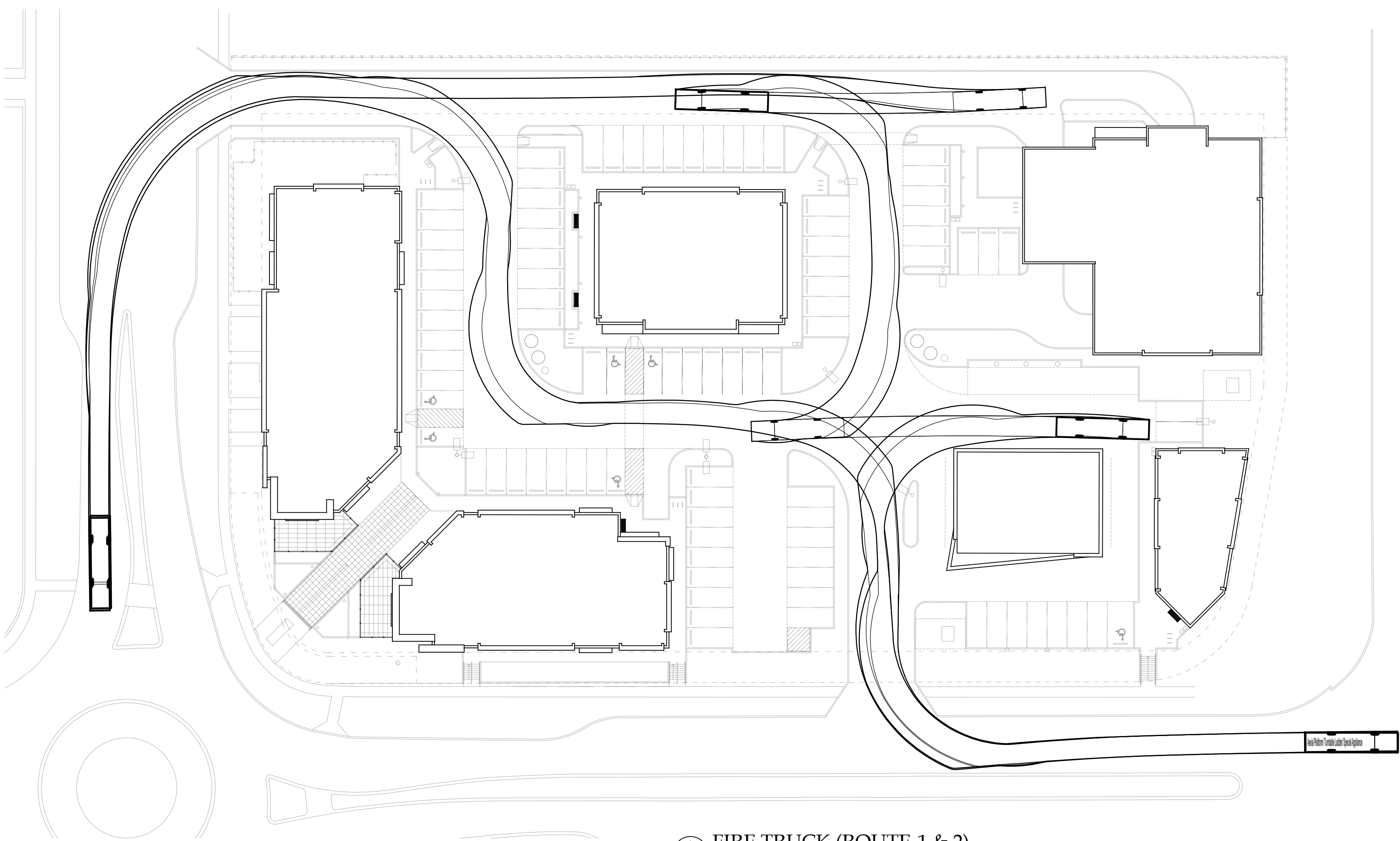
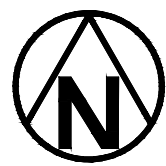
[illegible]



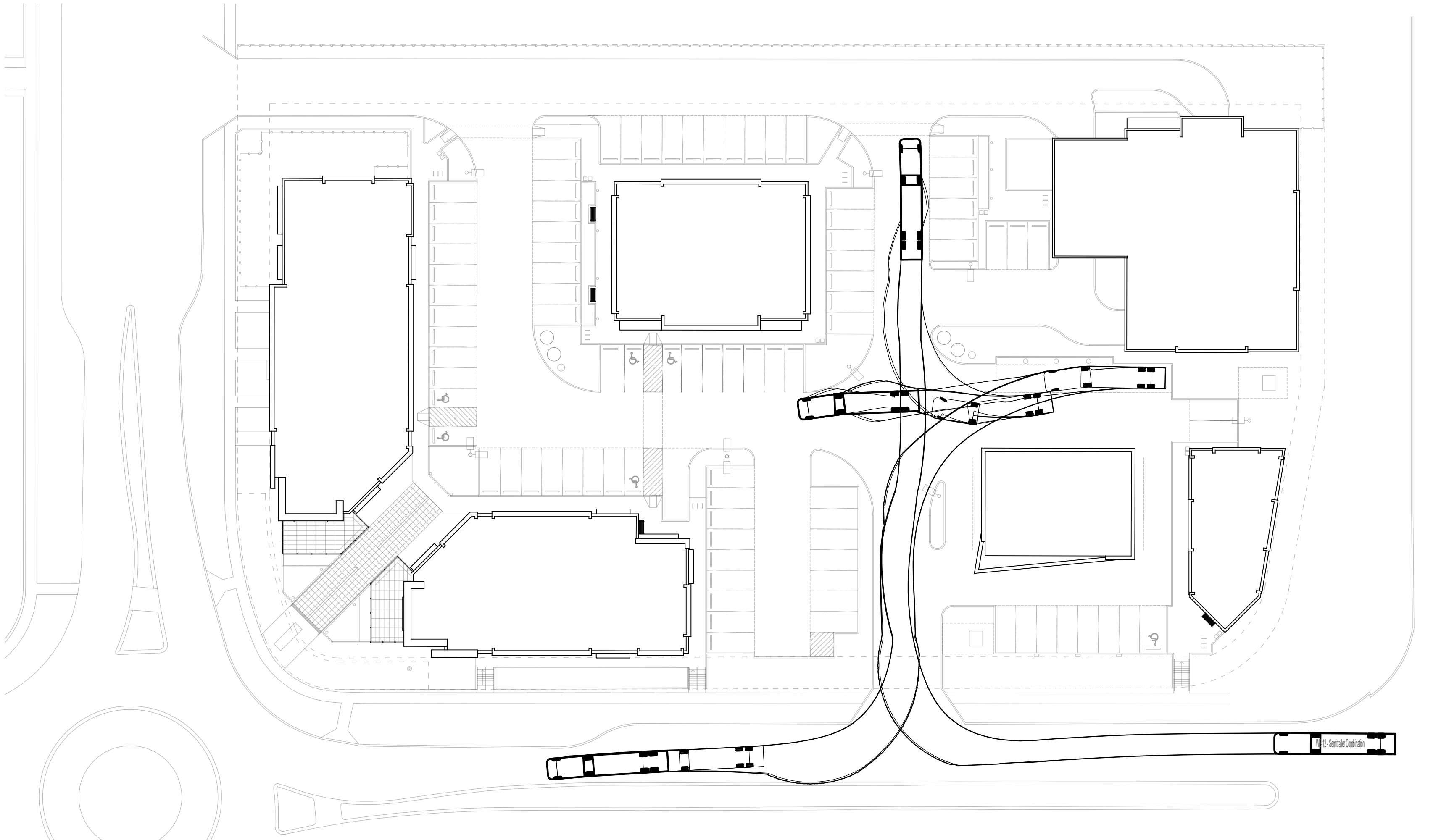
TOWN OF OKOTOKS

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

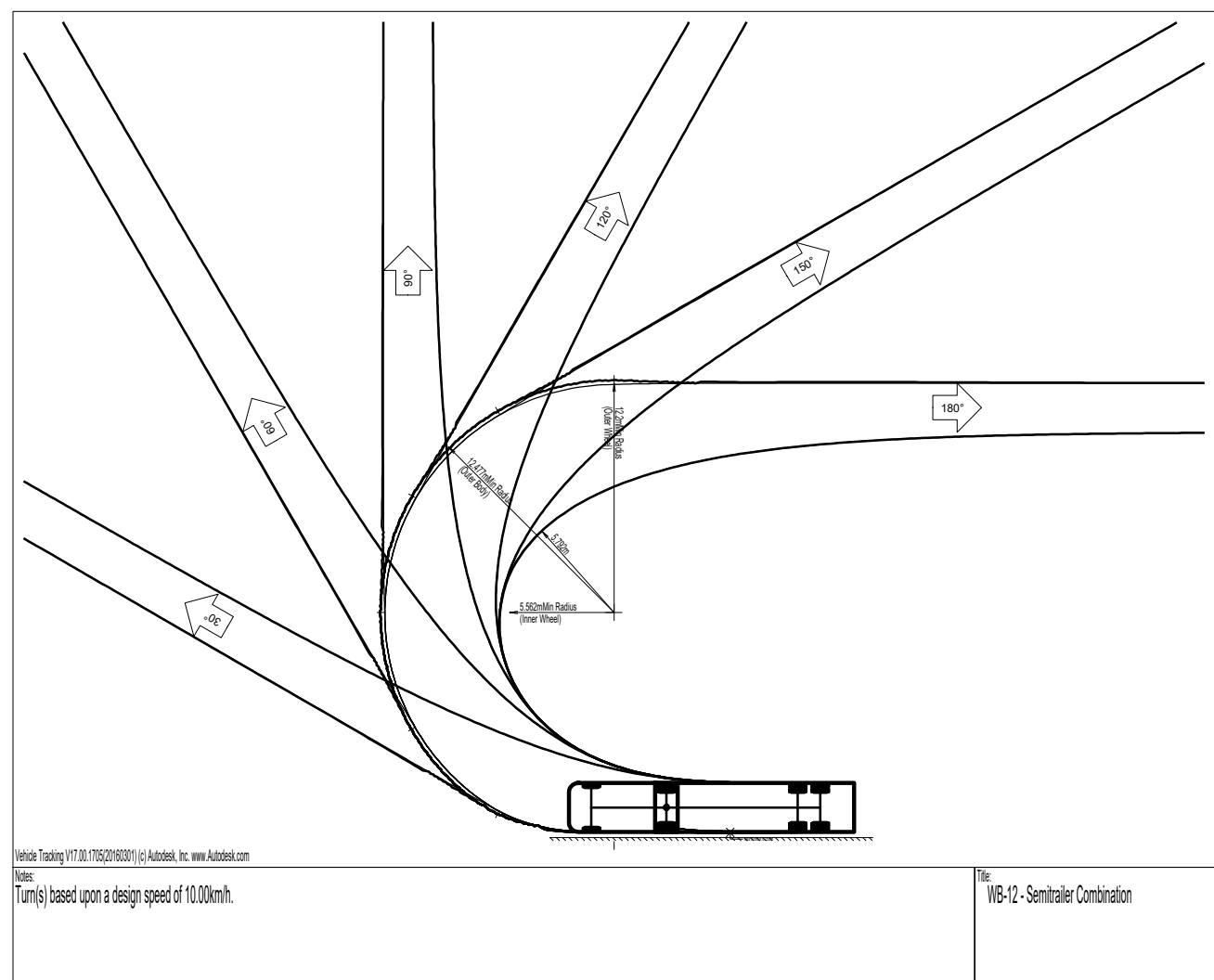
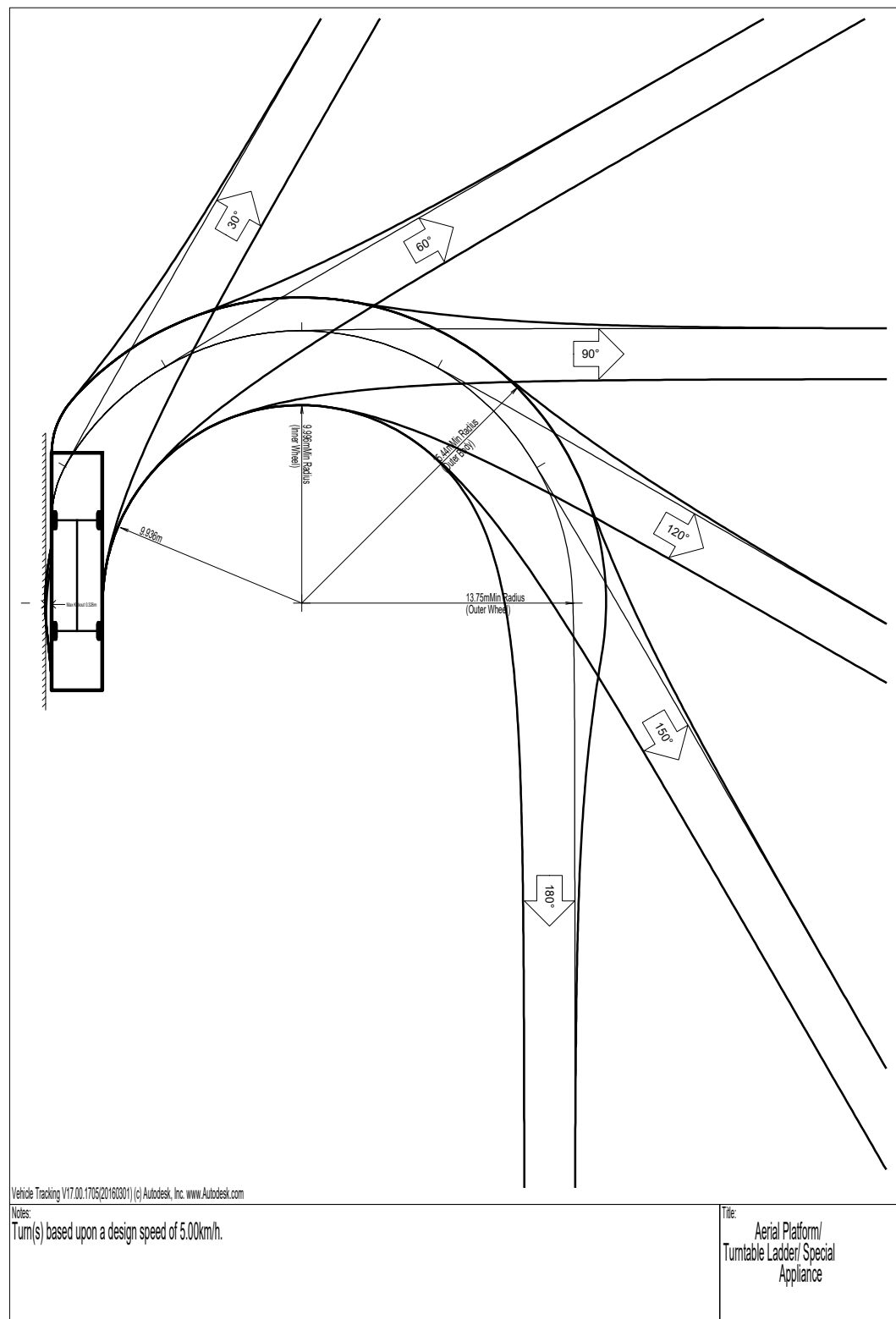
DESIGN BY: AD	DRAWN BY: CS	CHECKED AD
------------------	-----------------	---------------



1 FIRE TRUCK (ROUTE-1 & 2)
SCALE 1:400 M



2 FUEL TRUCK
SCALE 1:400 M



DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAR ITS NAME.

THIS DRAWING MUST NOT BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8882
E-MAIL: adatt@velus.net

RECEIVED-DIGITALLY

June 23, 2022

DP# 128-22

TOWN OF OKOTOKS

NO.	DATE	DESCRIPTION
3	2022-06-23	RES-ISSUED FOR DEVELOPMENT PERMIT
2	2022-04-22	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.

337 17TH AVENUE S.W. CALGARY, ALBERTA
T2S 0A5 TEL: (403) 244-8818 FAX: (403) 244-8882

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1688

PROJECT:

AIR RANCH PLAZA

OKOTOKS, ALBERTA

DRAWING:

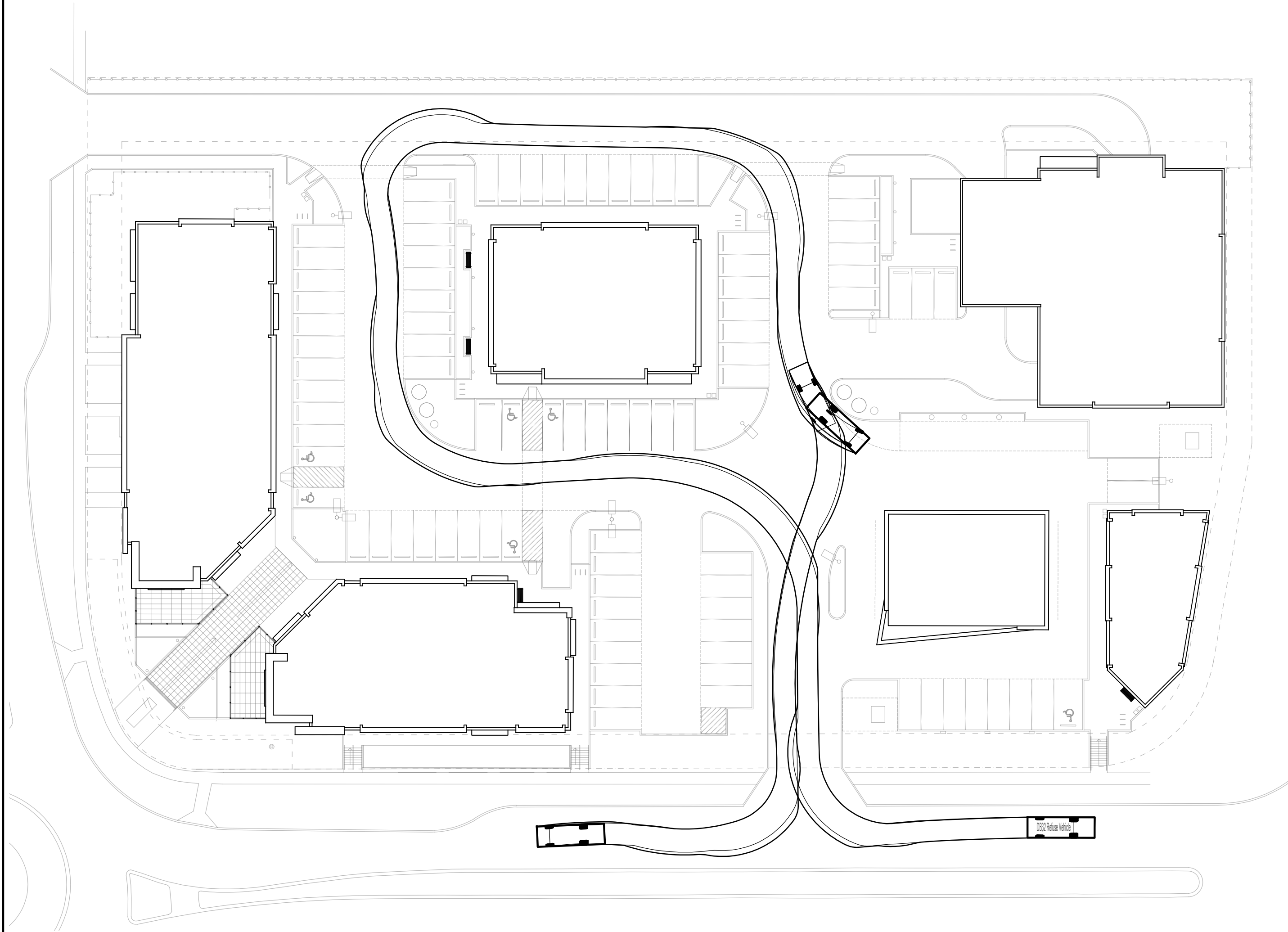
FIRE TRUCK & FUEL TANKER SWEPT PATH

DRAWING #:

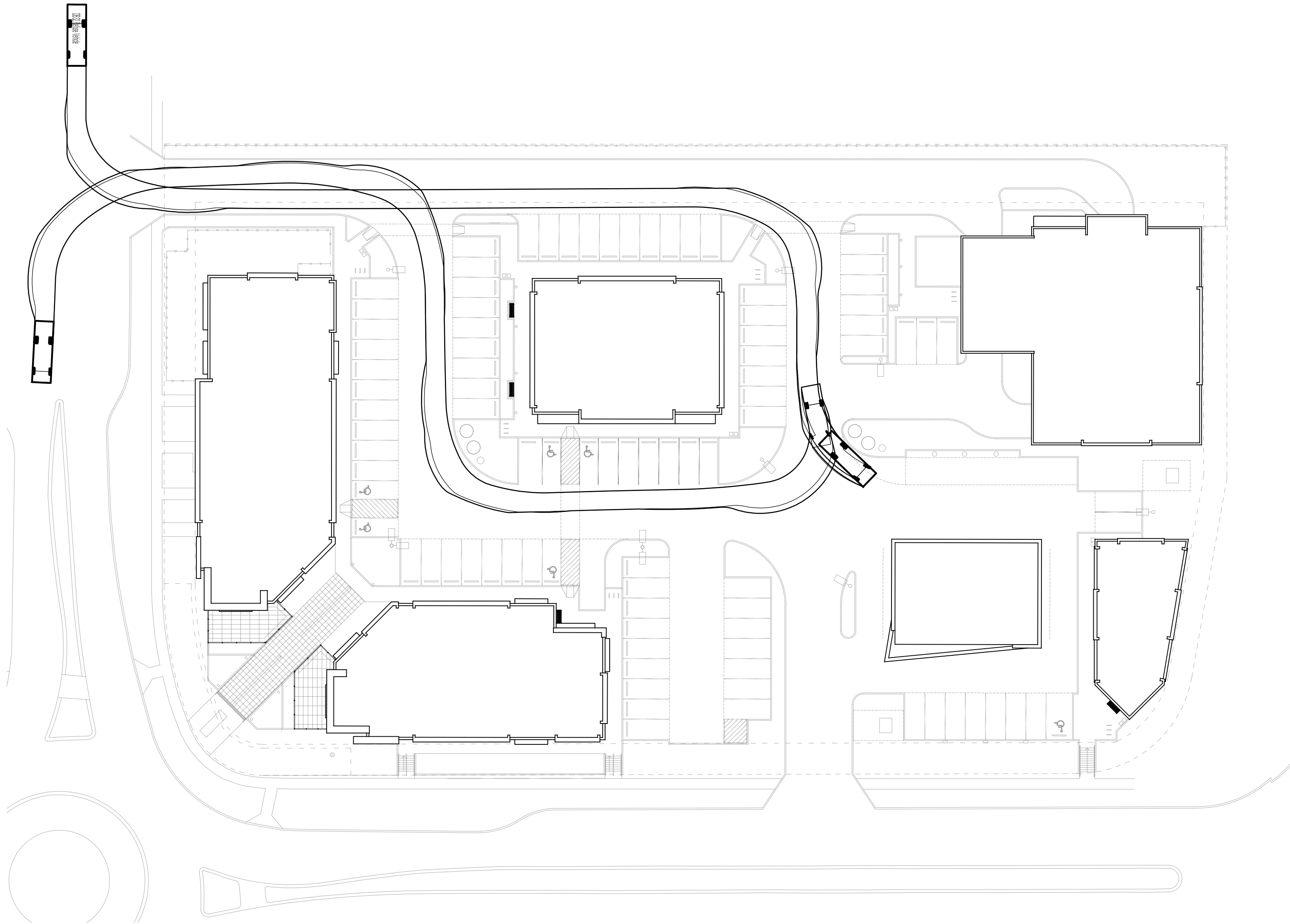
1688- DP-005

SCALE: 1:400 M

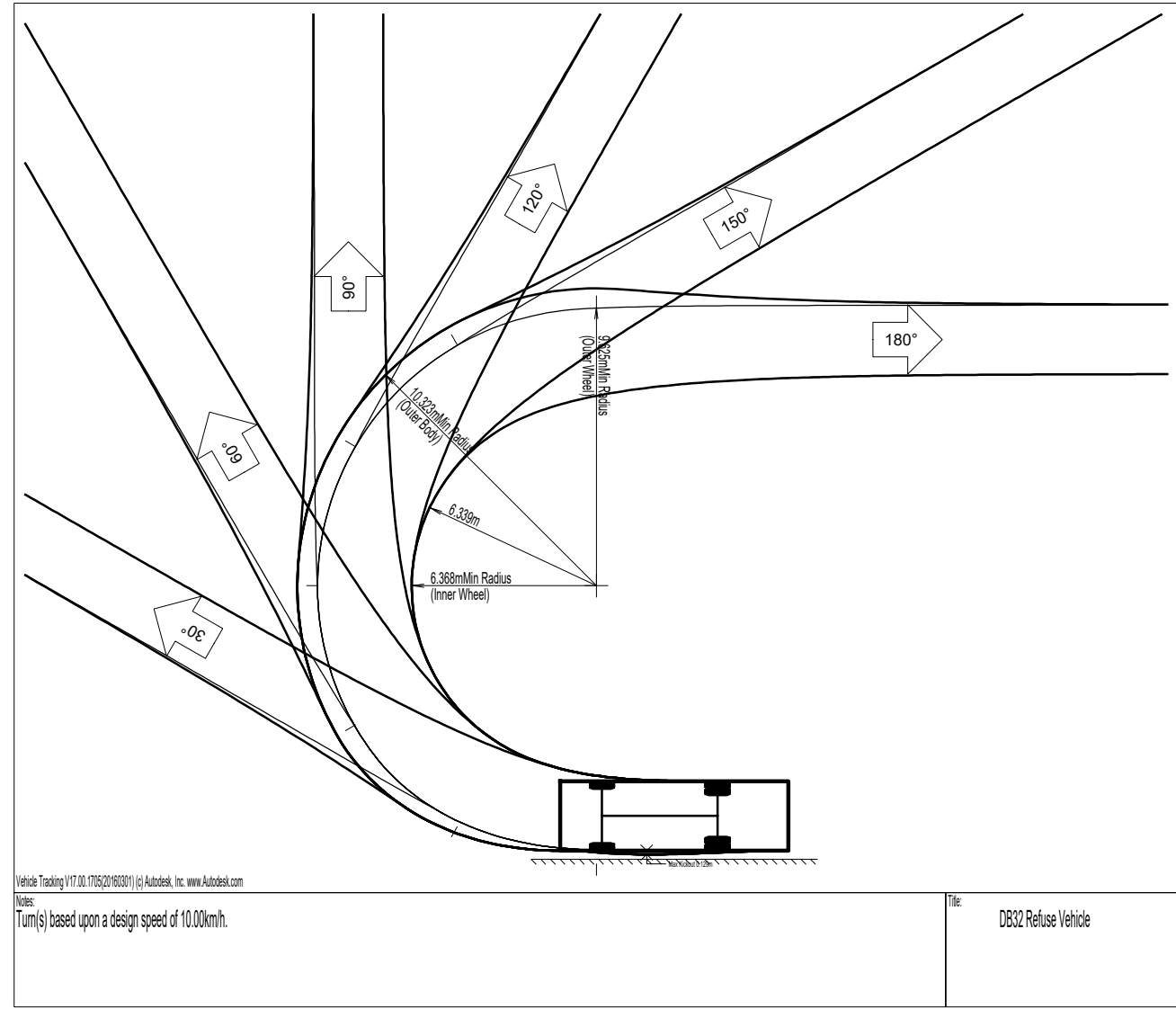
DESIGN BY: AD DRAWN BY: CS CHECKED BY: AD



1
DP-006
GARBAGE TRUCK (ROUTE OPTION-1)
SCALE 1:400 M



2
DP-006
GARBAGE TRUCK (ROUTE OPTION-2)
SCALE 1:400 M



DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAR ITS NAME.

THIS DRAWING MUST NOT BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8882
E-MAIL: adatt@velus.net

RECEIVED-DIGITALLY

June 23, 2022
DP# 128-22

TOWN OF OKOTOKS

No.	DATE	DESCRIPTION
3	2022-06-23	REVISED FOR DEVELOPMENT PERMIT
2	2022-04-22	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.

337 17TH AVENUE S.W. CALGARY, ALBERTA
T2S 0A5 TEL: (403) 244-8818 FAX: (403) 244-8882

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1688

PROJECT:

AIR RANCH PLAZA

OKOTOKS, ALBERTA

DRAWING:

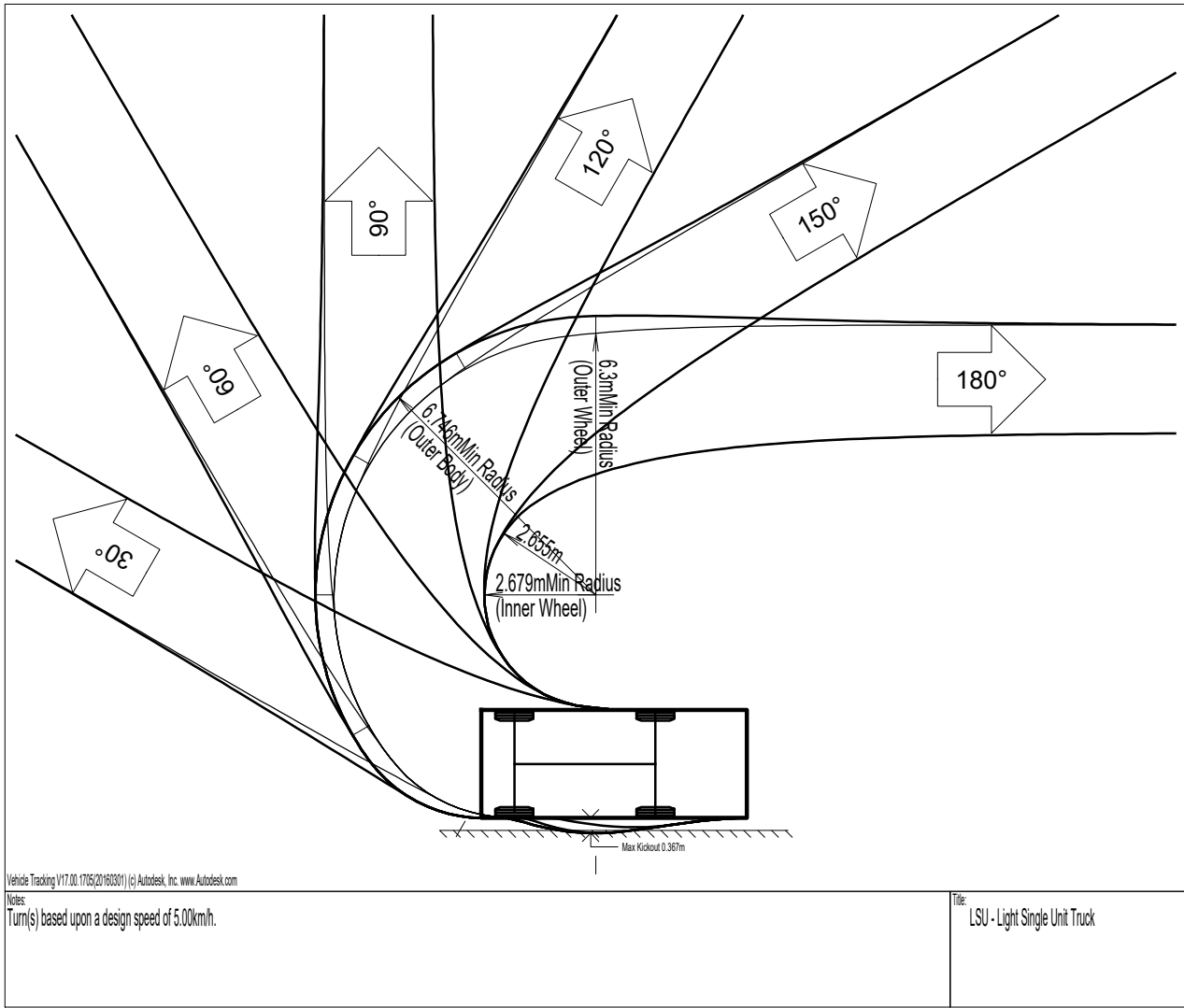
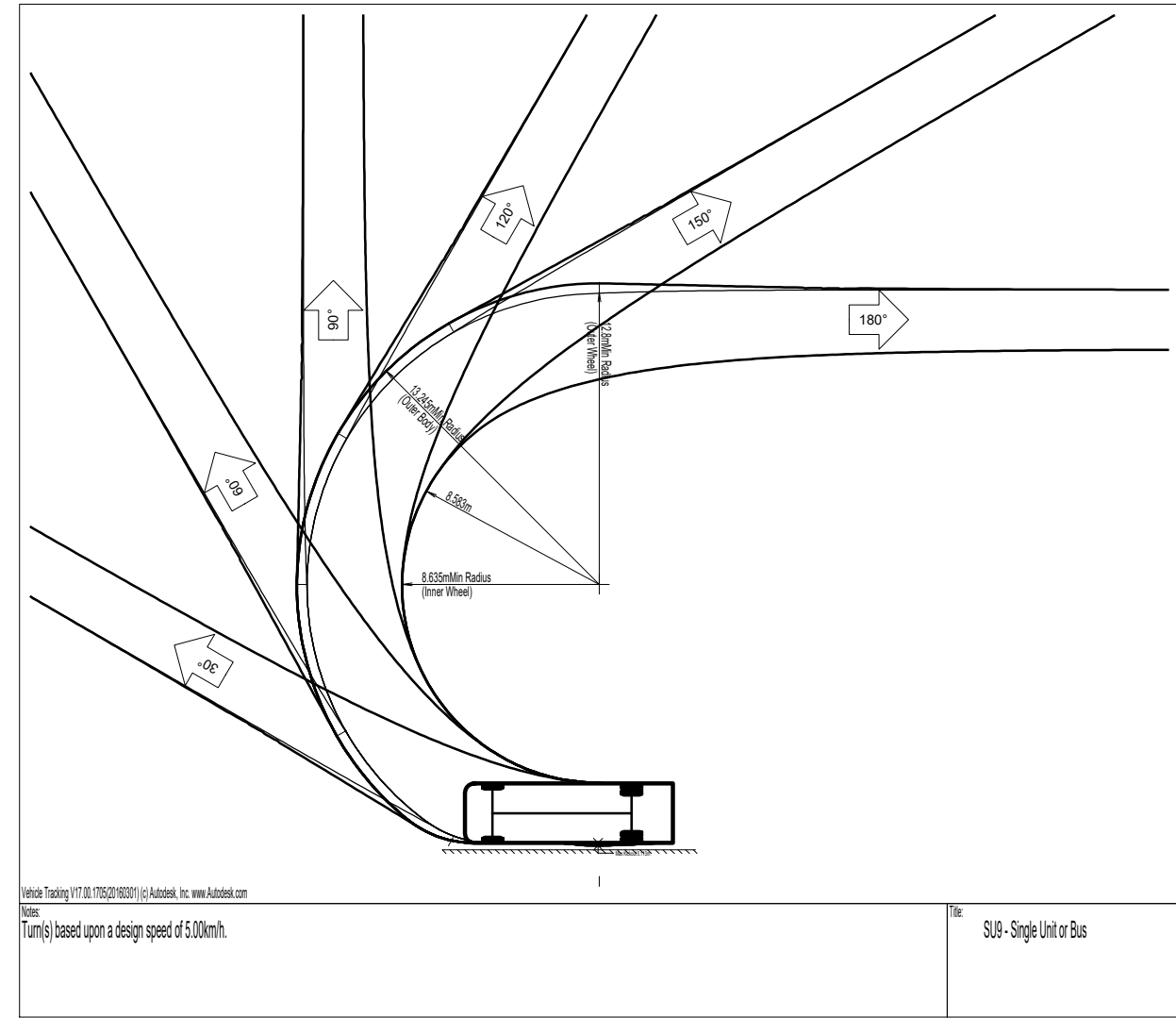
GARBAGE TRUCK
SWEEP PATH

DRAWING #:

1688- DP-006

SCALE: 1:400 M

DESIGN BY: AD DRAWN BY: CS CHECKED BY: AD



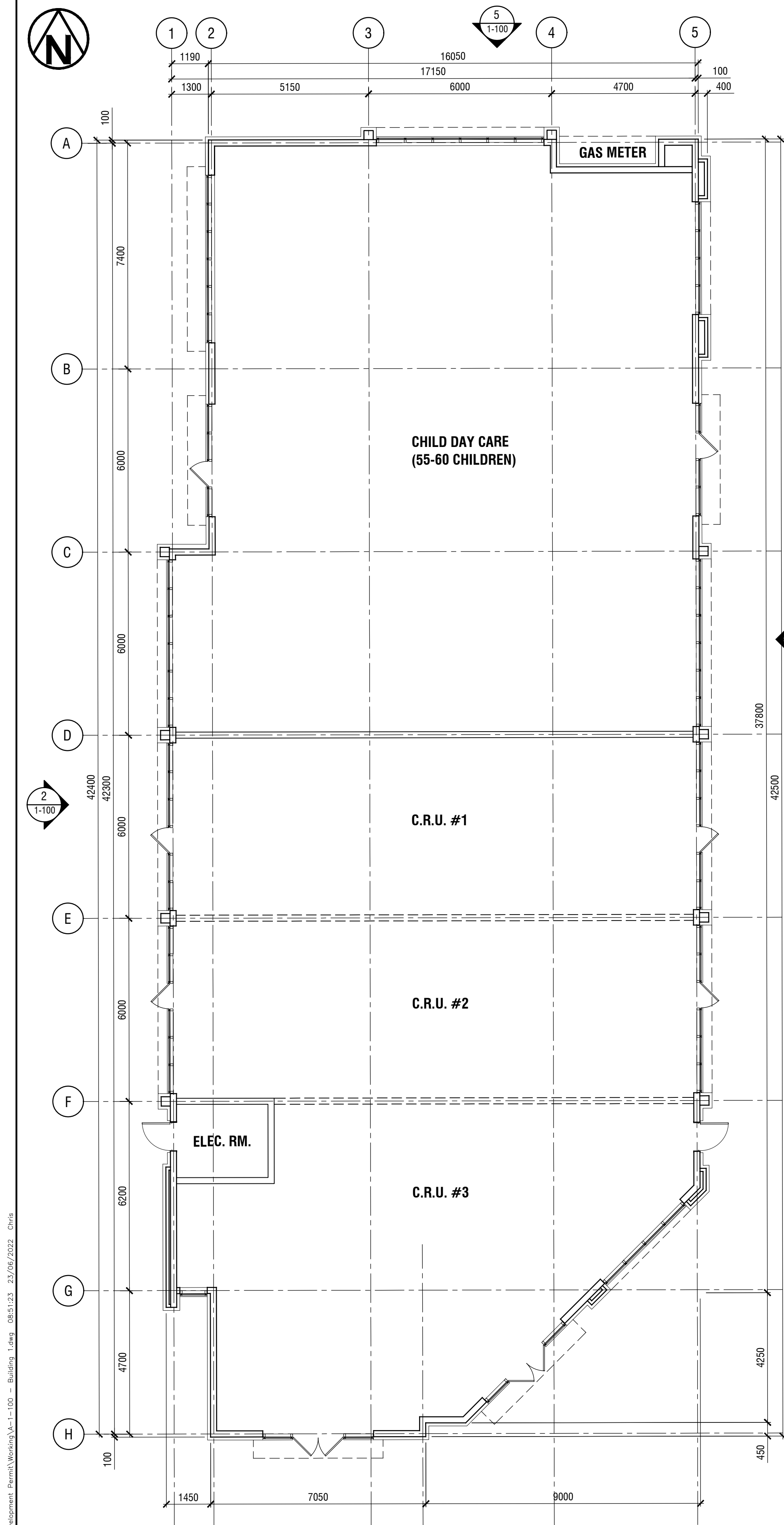
TOWN OF OKOTOKS

 **ARUP DATTA
ARCHITECT LTD.**

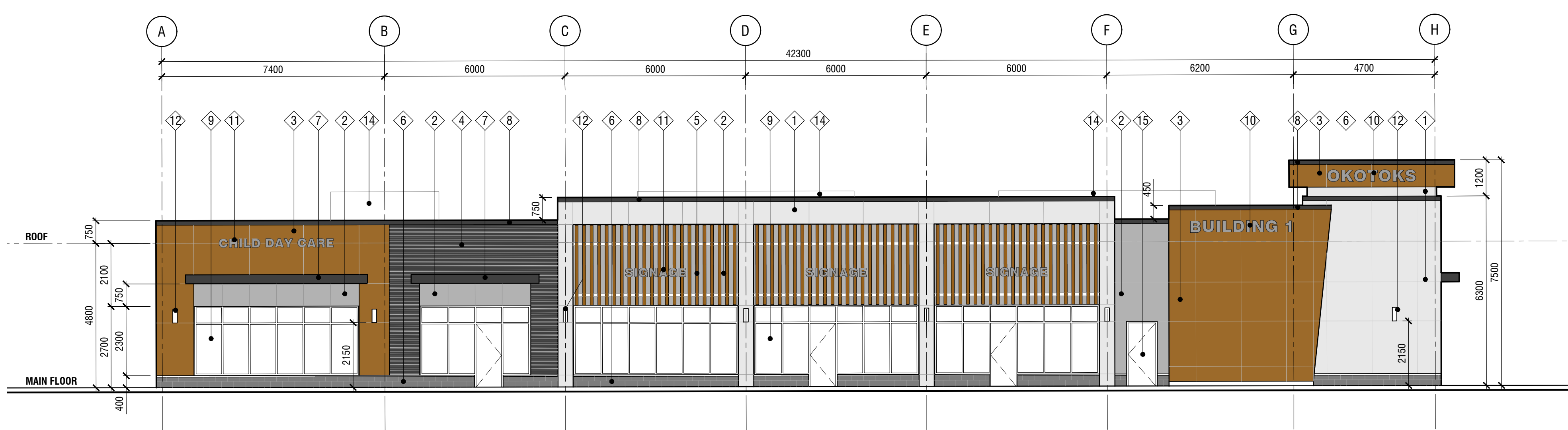
337 - 17th AVENUE S.W., CALGARY, ALBERTA
T2S 0A5 Tel: (403) 244-9910 Fax: (403) 244-9992

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

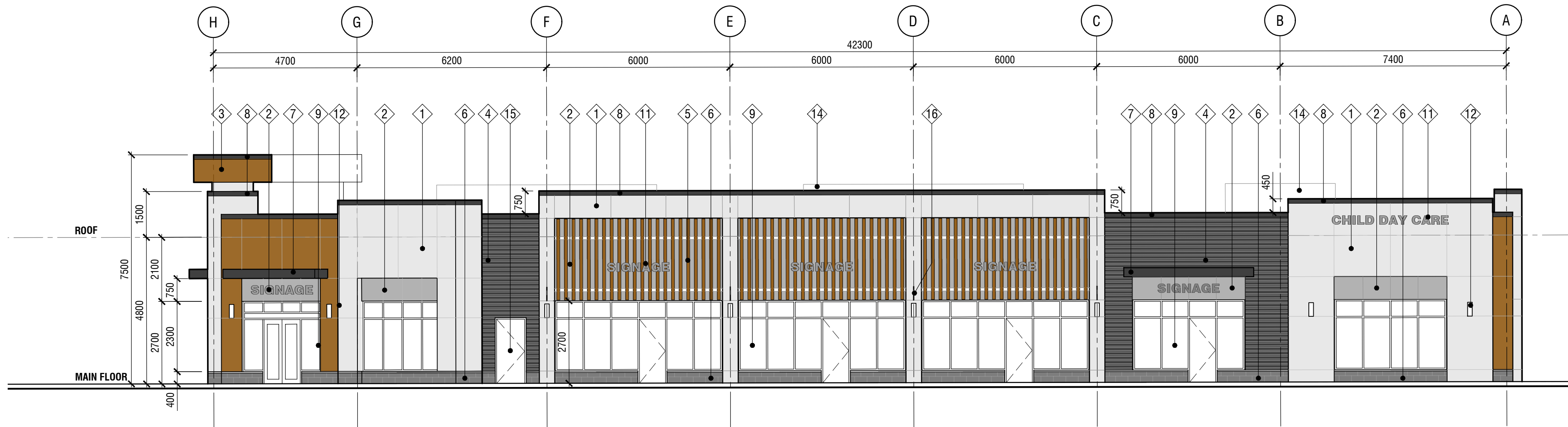
DESIGN BY: AD	DRAWN BY: CS	CHECKED BY: AD
------------------	-----------------	-------------------



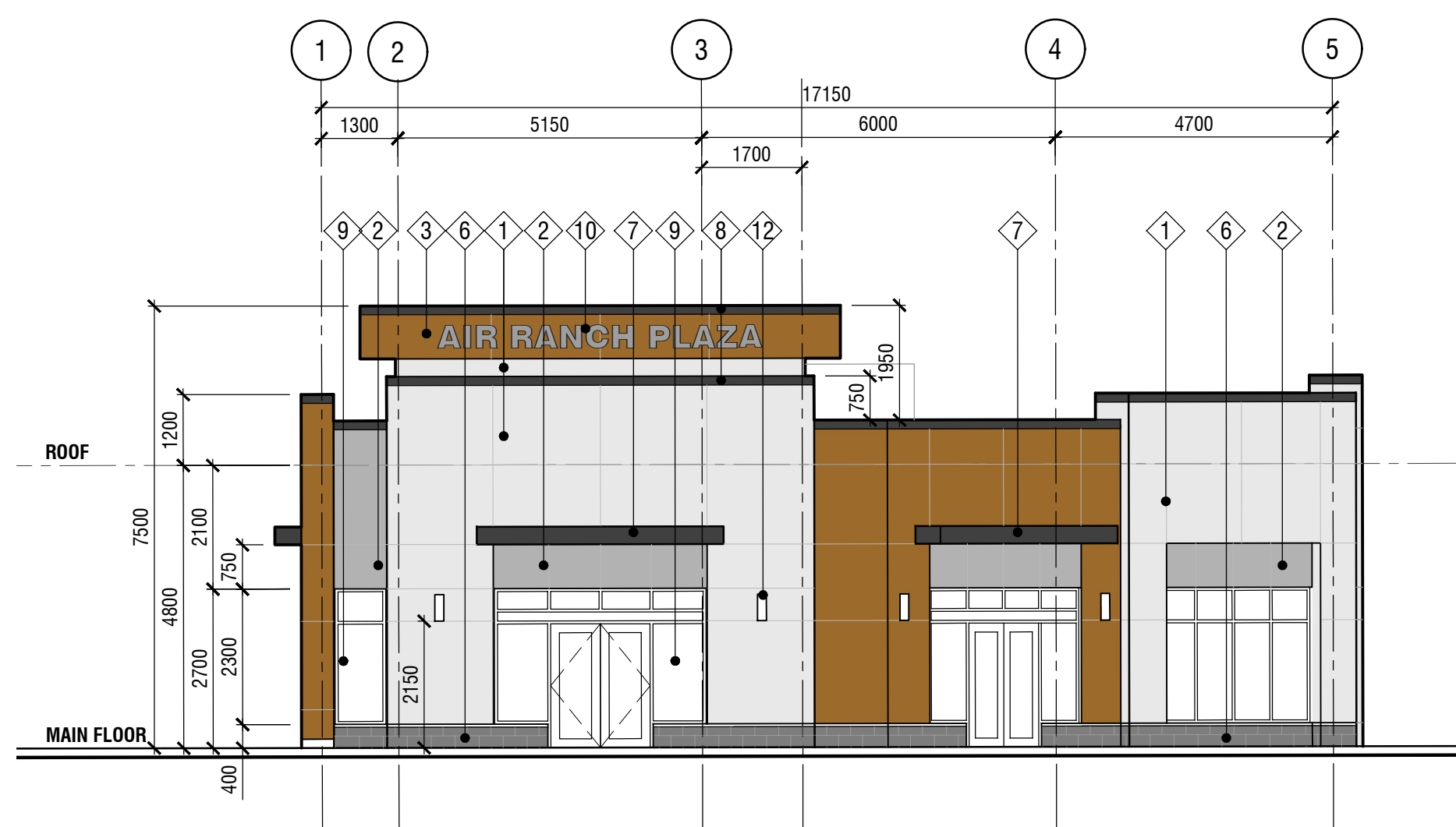
BUILDING 1:
FLOOR PLAN
SCALE 1:100 M



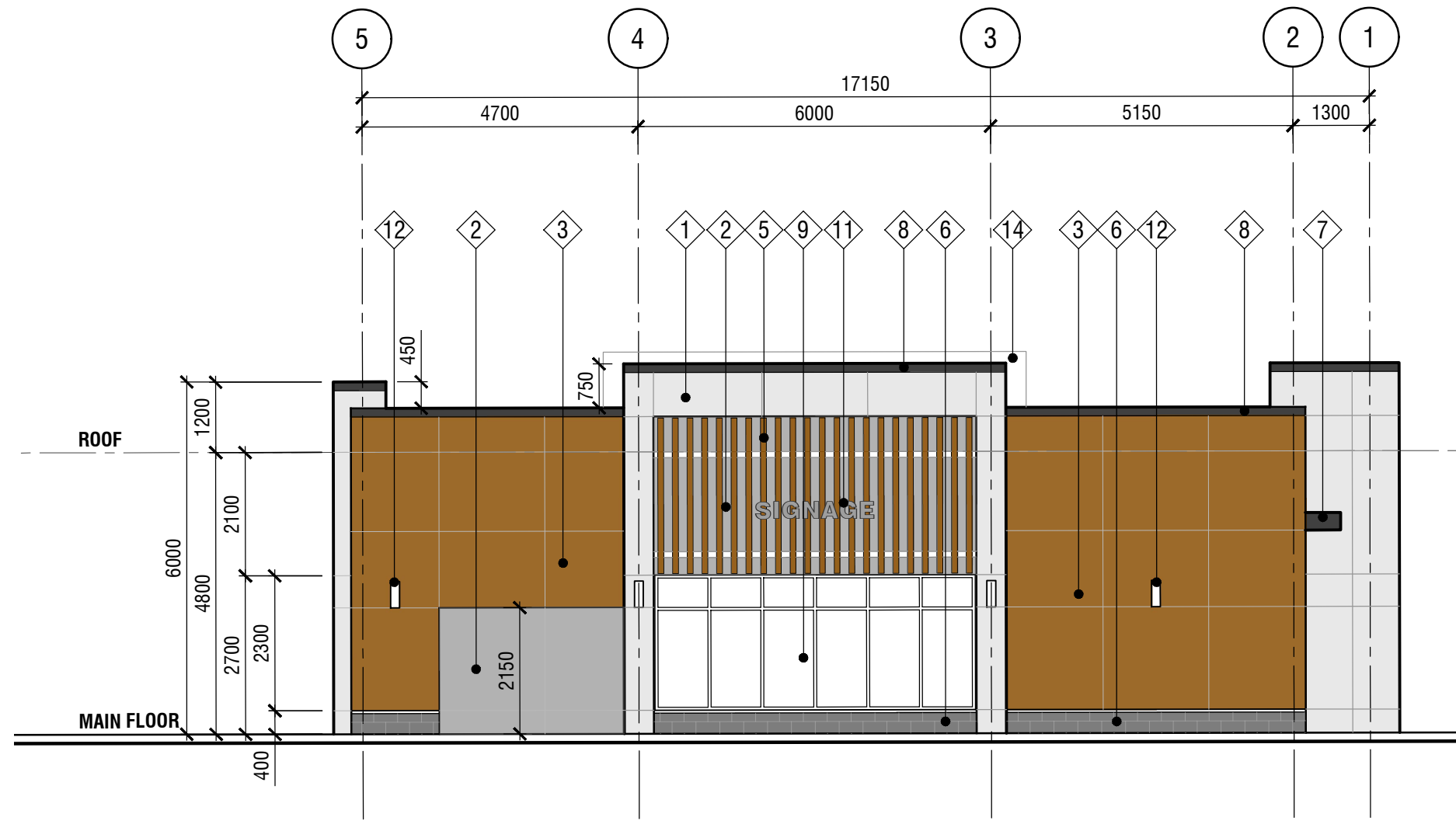
BUILDING 1:
STREET FRONT (WEST) ELEVATION
SCALE 1:100 M



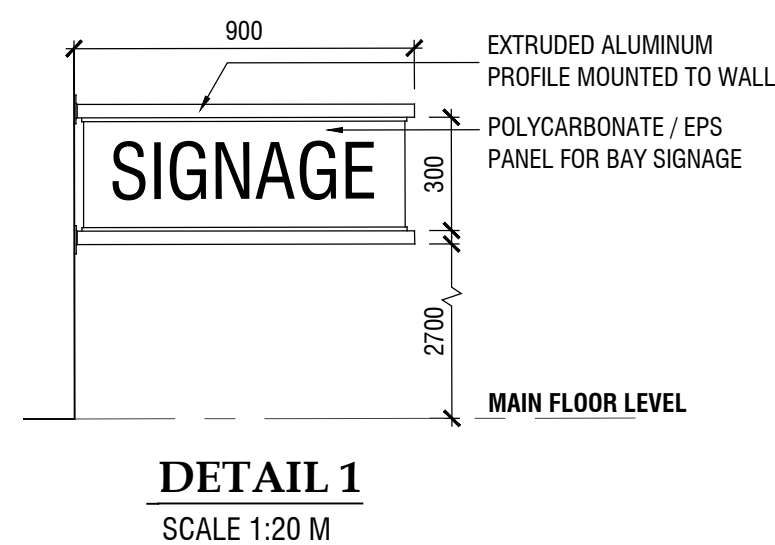
BUILDING 1:
FRONT (EAST) ELEVATION
SCALE 1:100 M



BUILDING 1:
SOUTH SIDE ELEVATION
SCALE 1:100 M



BUILDING 1:
NORTH SIDE ELEVATION
SCALE 1:100 M



EXTERIOR FINISHING MATERIAL LEGEND:

1. ACRYLIC COATED STUCCO/EIFS; COLOUR - BUFF OR SAND
2. ACRYLIC-COATED STUCCO/EIFS; COLOUR - LIGHT GREY
3. ALUM. COMPOSITE PANEL OR ACRYLIC-COATED STUCCO; COLOUR - BROWN
4. CORRUGATED METAL PANEL-HORIZONTAL; COLOUR - DARK GREY
5. POWDER-COATED STEEL TUBULAR ON STEEL CHANNEL; COLOUR - WOOD-LOOK / DARK BROWN
6. BRICK VENEER BASE; COLOUR - DARK GREY

7. METAL CANOPY; PAINTED - DARK GREY
8. PRE-FINISHED METAL FLASHING; COLOUR - DARK GREY
9. SEALED GLAZING UNIT IN CLEAR ANODIZED ALUM. FRAME; COLOUR-CAP DARK GREY
10. DIMENSIONAL SIGNAGE LETTERS; BACK LIT
11. TENANT SIGNAGE; BY OTHERS
12. WALL-MOUNTED EXTERIOR LIGHT FIXTURE (TYPE-1)
13. WALL-MOUNTED EXTERIOR DIRECTIONAL LIGHTING (TYPE-2)
14. MECHANICAL SCREENING
15. METAL DOOR; PAINTED - TO MATCH WALL
16. WALL-MOUNTED PROJECTING SIGN (SEE DETAIL 1)

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAR ITS NAME.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8882
E-MAIL: adatt@velus.net

RECEIVED-DIGITALLY
June 23, 2022
DP# 128-22
TOWN OF OKOTOKS

NO.	DATE	DESCRIPTION
3	2022-06-23	REV. ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-04	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP

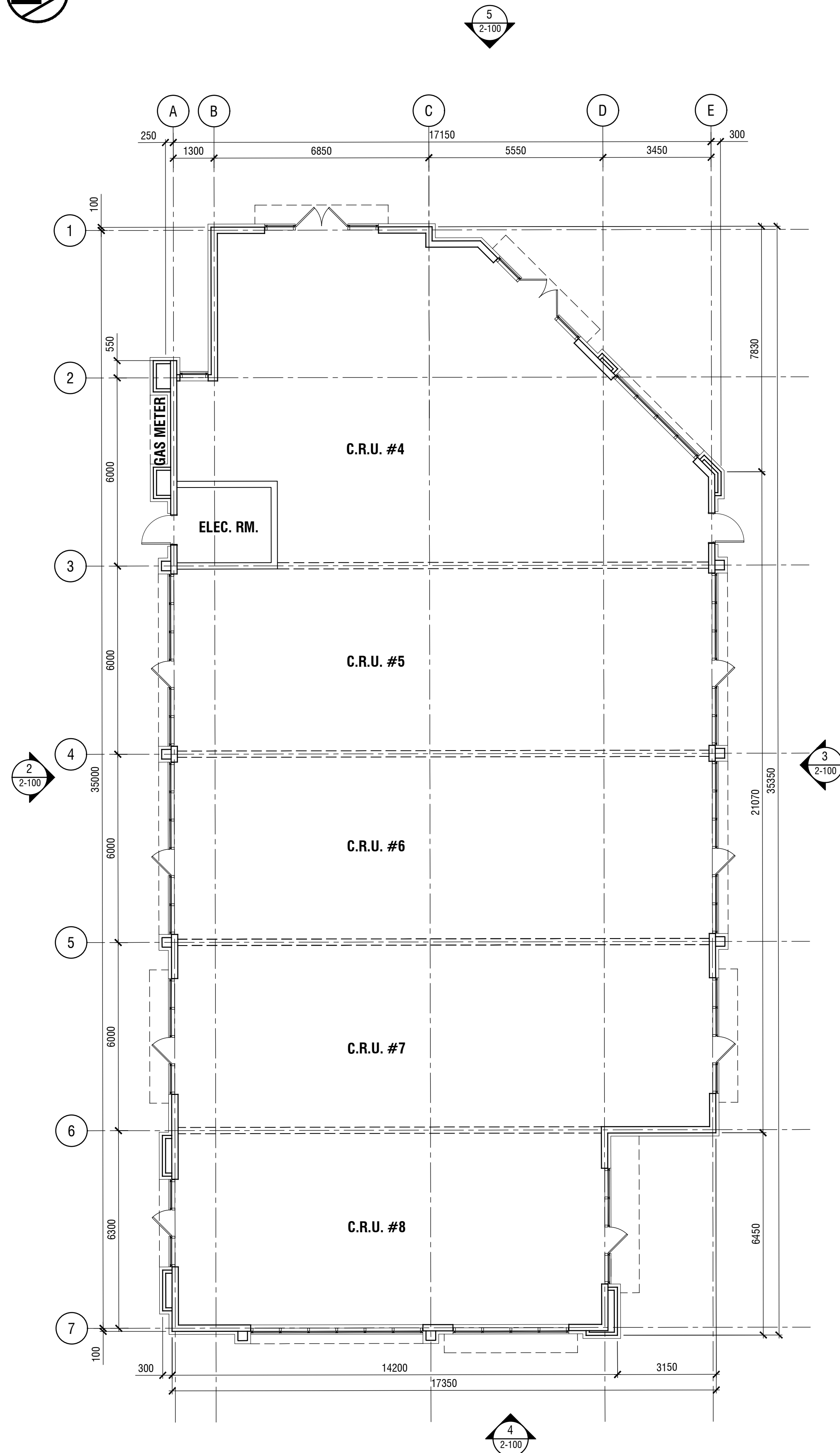
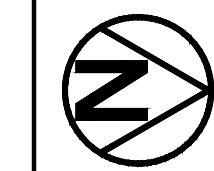
ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W. CALGARY, ALBERTA
T2S 0A5 TEL: (403) 244-8818 FAX: (403) 244-8882
ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

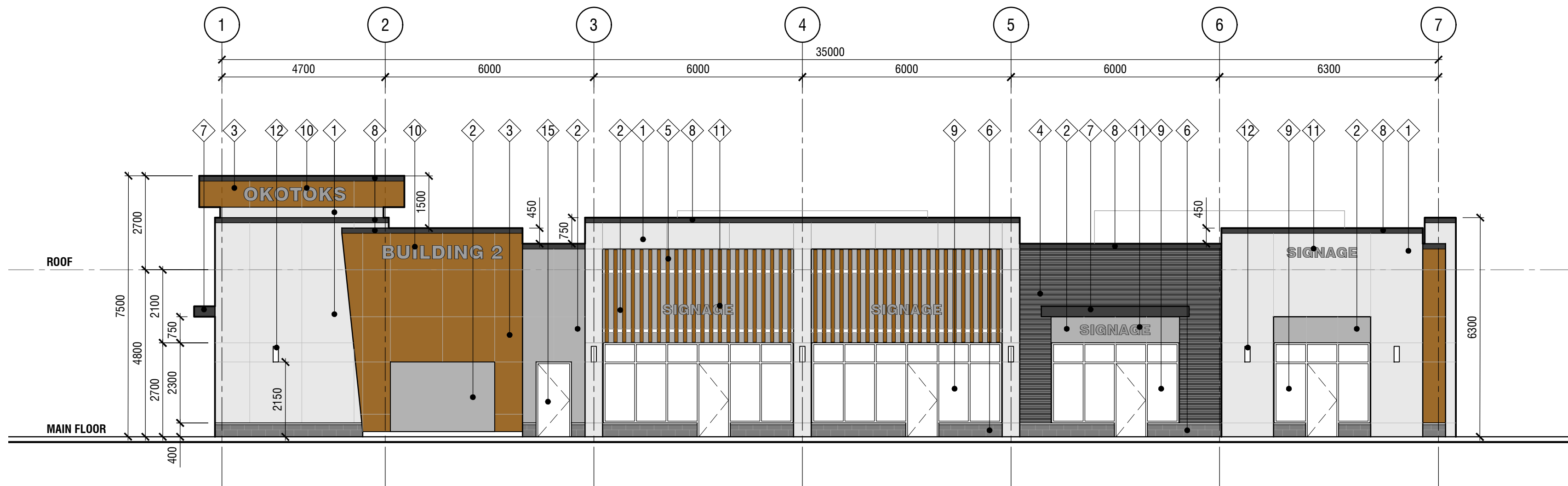
PROJECT #: **1688**
PROJECT:
AIR RANCH PLAZA
OKOTOKS, ALBERTA

DRAWING: **BUILDING 1:
FLOOR PLAN &
ELEVATIONS**
DRAWING #:
1688- DP-1-100

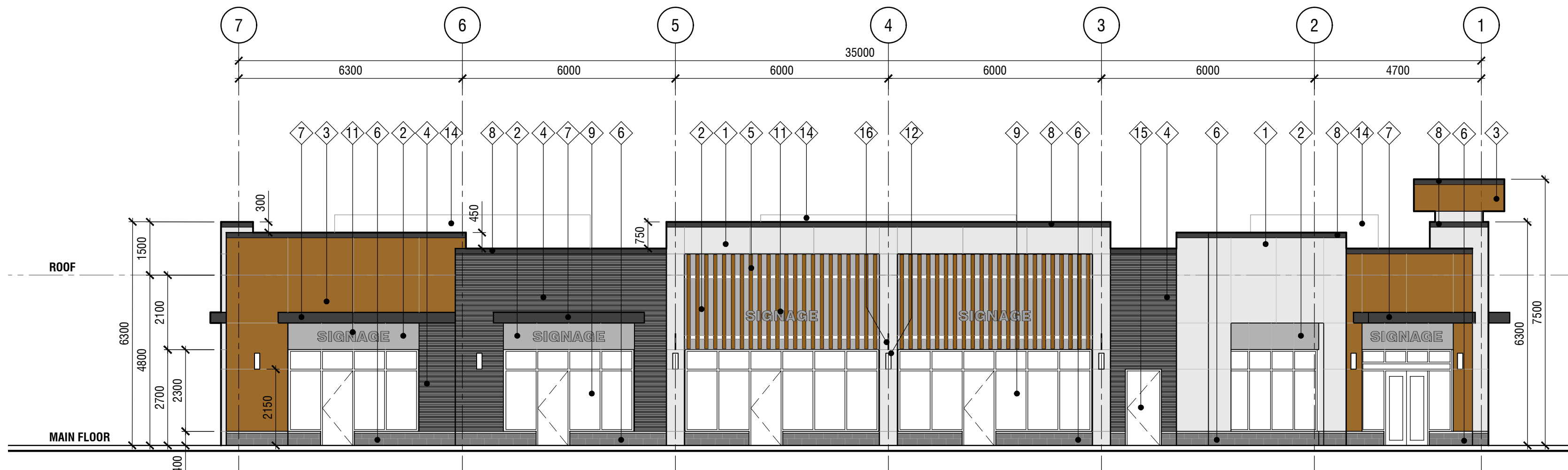
SCALE: 1:100 M
DESIGN BY: AD
DRAWN BY: CS
CHECKED BY: AD



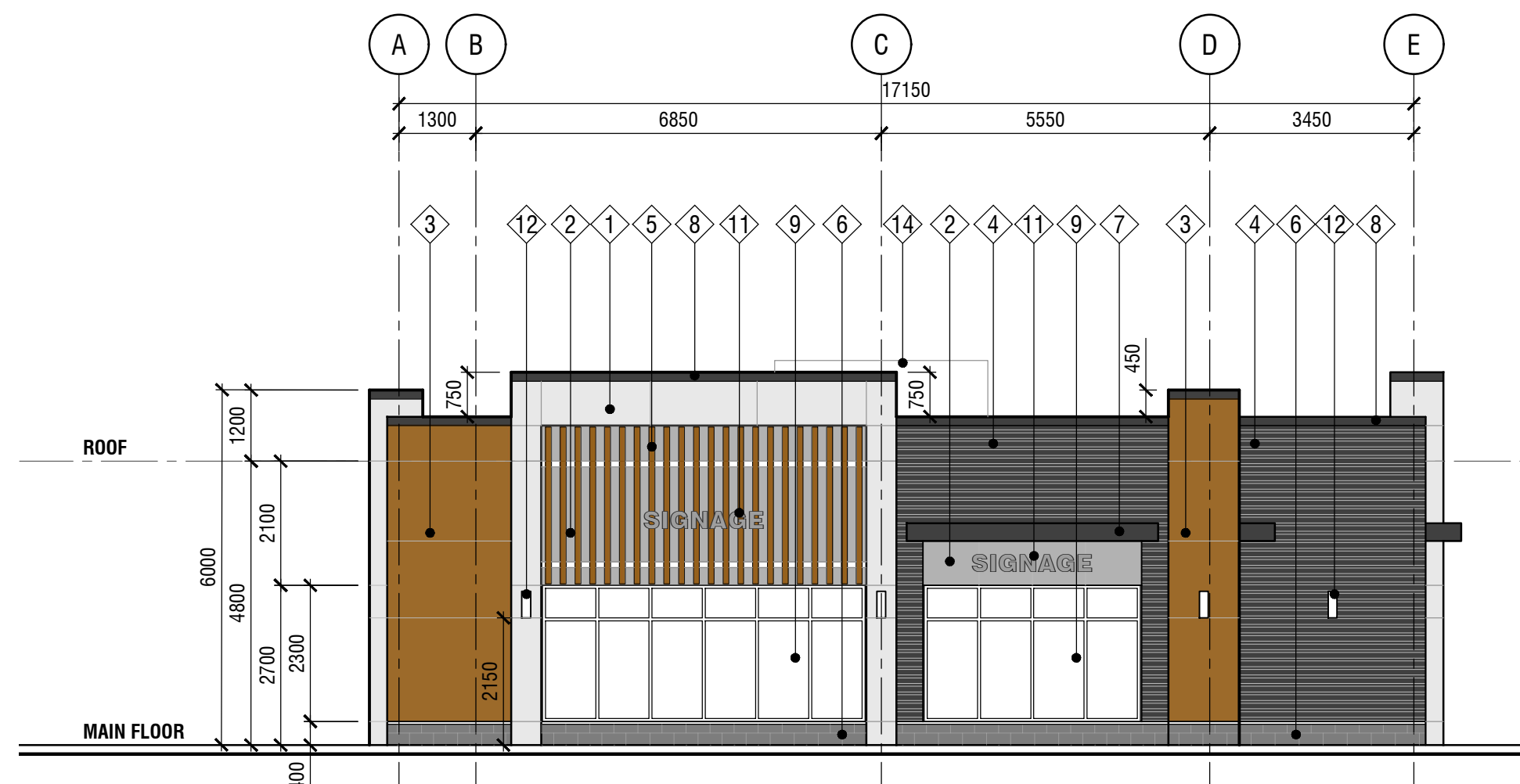
BUILDING 2:
FLOOR PLAN
SCALE 1:100 M



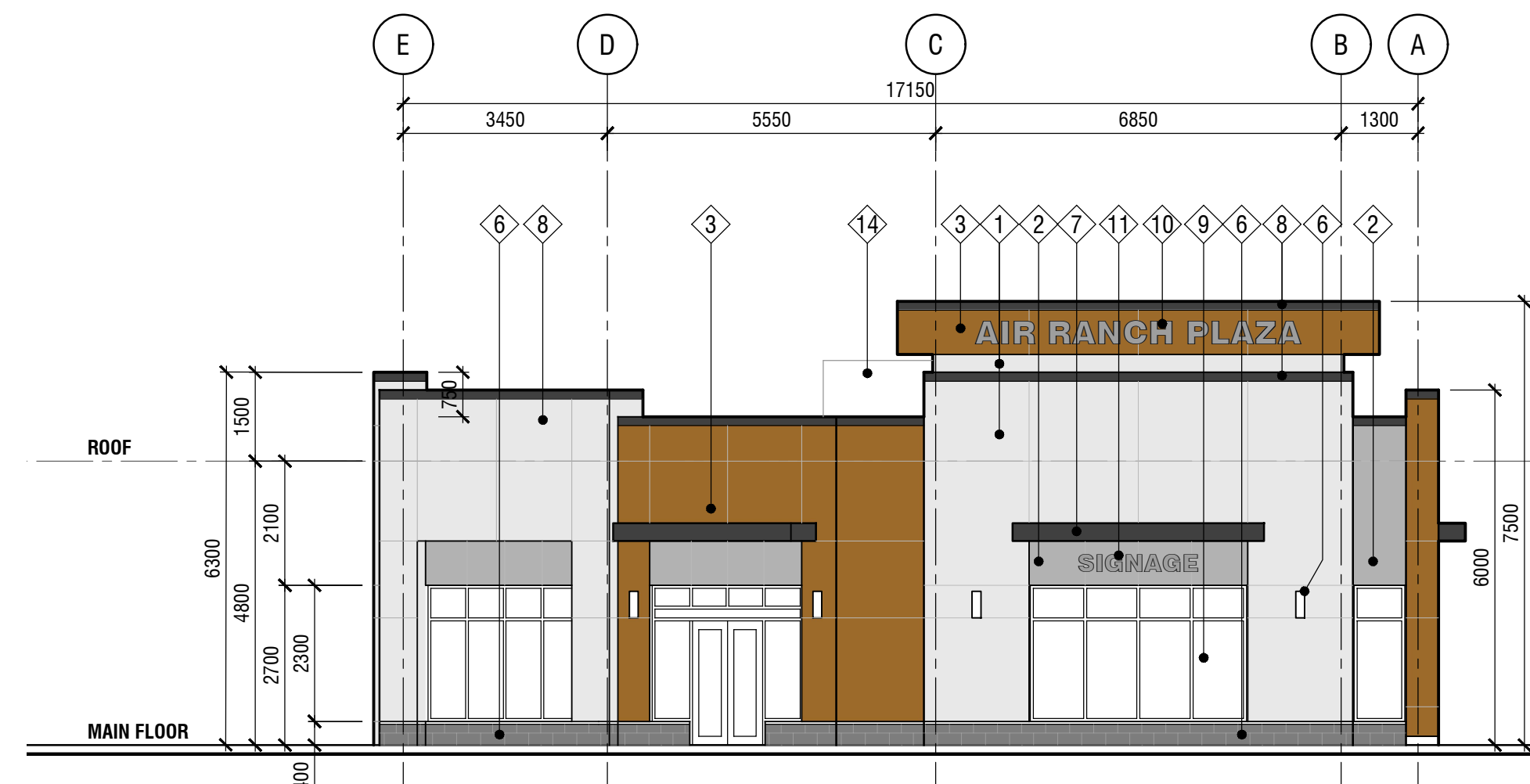
BUILDING 2:
STREET FRONT (SOUTH) ELEVATION
SCALE 1:100 M



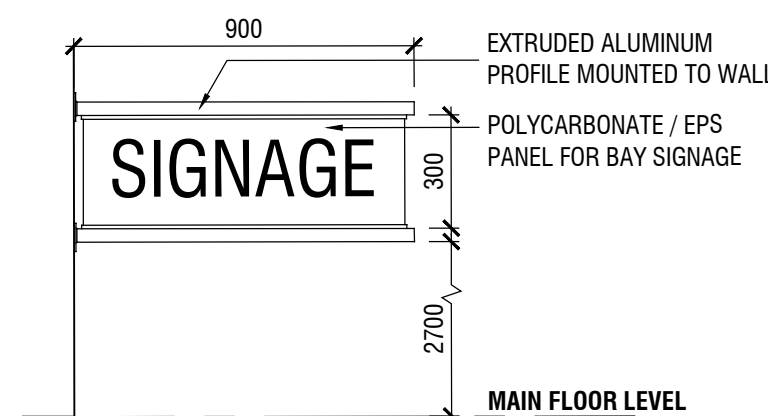
BUILDING 2:
FRONT (NORTH) ELEVATION
SCALE 1:100 M



BUILDING 2:
SIDE (EAST) ELEVATION
SCALE 1:100 M



BUILDING 2:
SIDE (WEST) ELEVATION
SCALE 1:100 M



DETAIL 1
SCALE 1:20 M

EXTERIOR FINISHING MATERIAL LEGEND:

1. ACRYLIC COATED STUCCO; COLOUR - BUFF OR SAND
2. ACRYLIC-COATED STUCCO; COLOUR - LIGHT GREY
3. ALUM. COMPOSITE PANEL OR ACRYLIC-COATED STUCCO; COLOUR - BROWN
4. CORRUGATED METAL PANEL-HORIZONTAL; COLOUR - DARK GREY
5. POWDER-COATED STEEL TUBULAR ON STEEL CHANNEL; COLOUR - WOOD-LOOK / DARK BROWN
6. BRICK VENEER BASE; COLOUR - DARK GREY
7. METAL CANOPY; PAINTED - DARK GREY
8. PRE-FINISHED METAL FLASHING; COLOUR - DARK GREY
9. SEALED GLAZING UNIT IN CLEAR ANODIZED ALUM. FRAME; COLOUR-CAP DARK GREY
10. DIMENSIONAL SIGNAGE LETTERS; BACK LIT
11. TENANT SIGNAGE; BY OTHERS
12. WALL-MOUNTED EXTERIOR LIGHT FIXTURE (TYPE-1)
13. WALL-MOUNTED EXTERIOR DIRECTIONAL LIGHTING (TYPE-2)
14. MECHANICAL SCREENING
15. METAL DOOR; PAINTED - TO MATCH WALL
16. WALL-MOUNTED PROJECTING SIGN (SEE DETAIL 1)

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAR ITS NAME.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8882
E-MAIL: adatt@velus.net

RECEIVED-DIGITALLY
June 23, 2022
DP# 128-22
TOWN OF OKOTOKS

3	2022-09-23	REVISED FOR DEVELOPMENT PERMIT
2	2022-05-04	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP
No.	DATE	DESCRIPTION
ISSUED FOR / REVISIONS		
ARUP DATTA ARCHITECT LTD.		
ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN		

PROJECT #: 1688

PROJECT:

AIR RANCH PLAZA

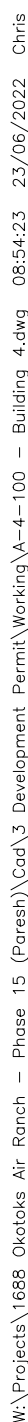
OKOTOKS, ALBERTA

DRAWING: **BUILDING 2:**
FLOOR PLAN & ELEVATIONS

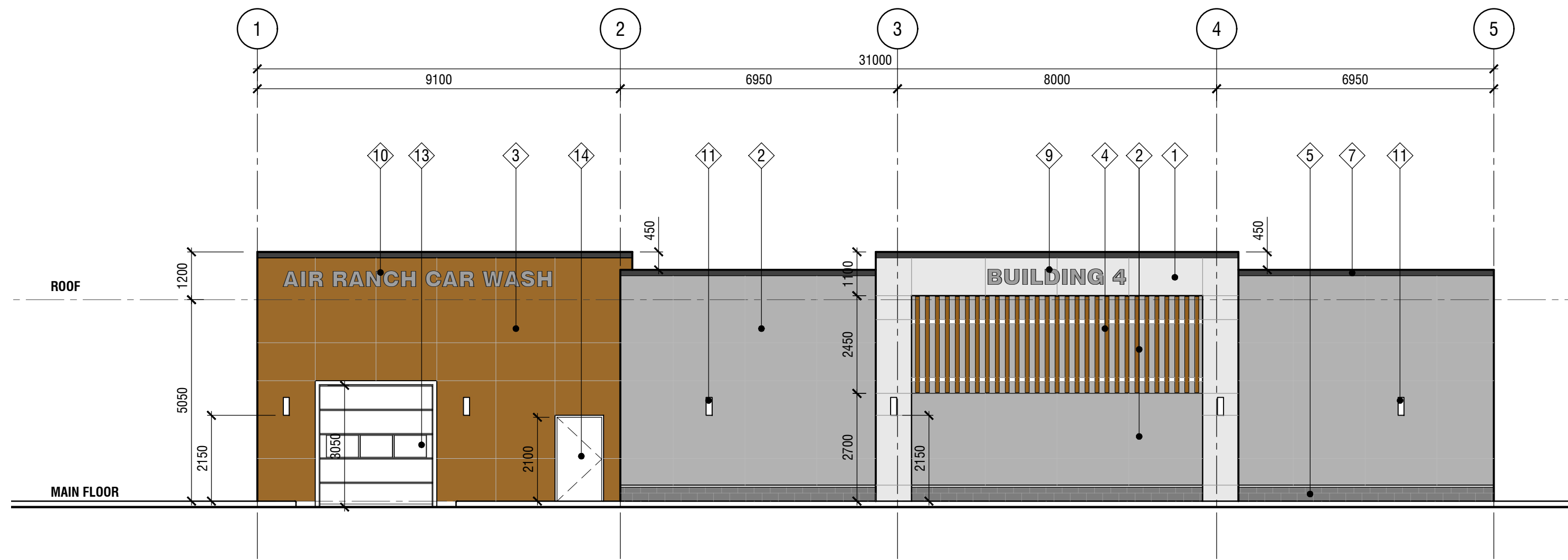
DRAWING #: **1688- DP-2-100**

SCALE: 1:100 M

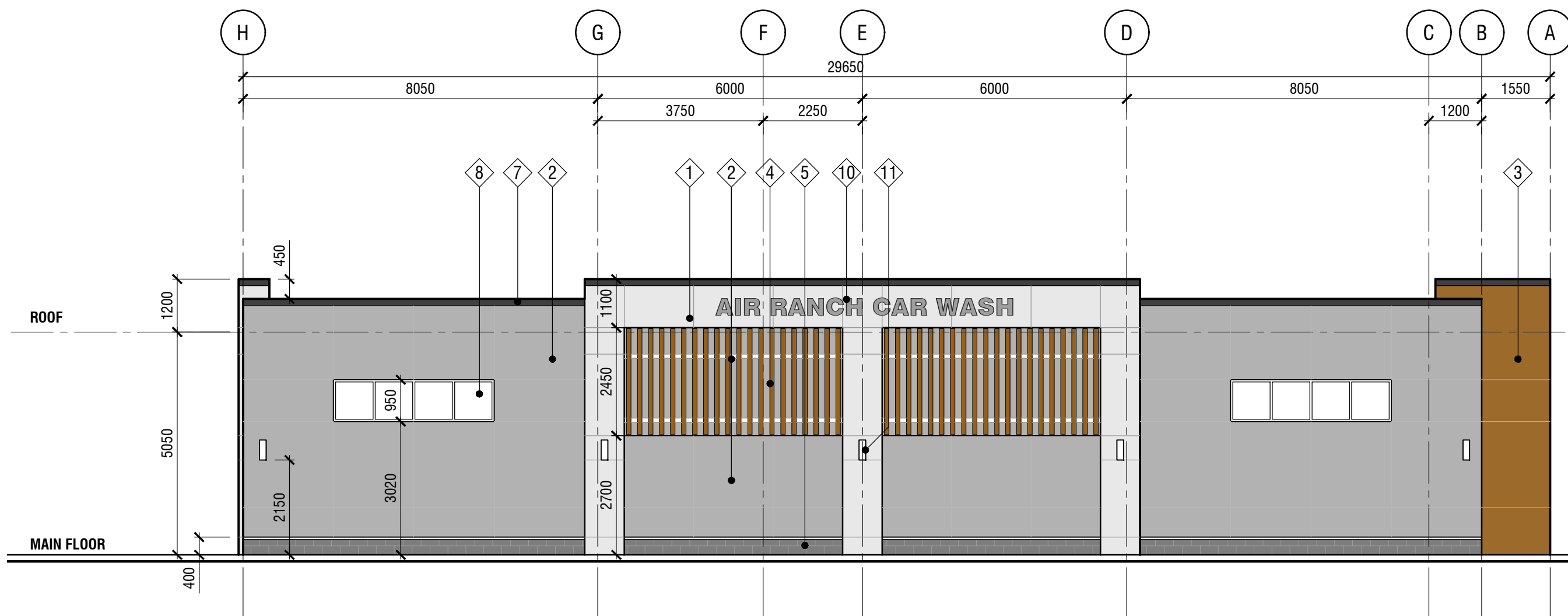
DESIGN BY: AD
DRAWN BY: CS
CHECKED BY: AD



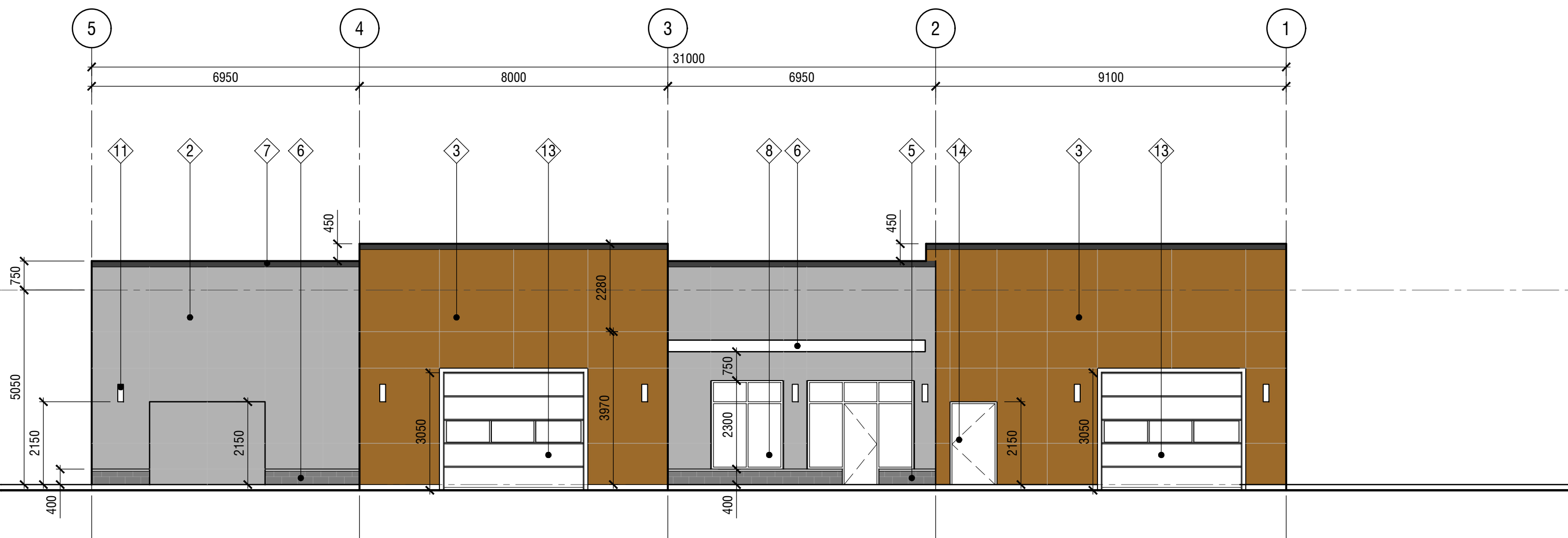
W:\Projects\1688- Outside Air Ranch - Phase 15 (Prelim)\Drawings\Development Permit\Working\15-4-100 - Building 4.dwg 08/24/23 23:09/2022 Chris



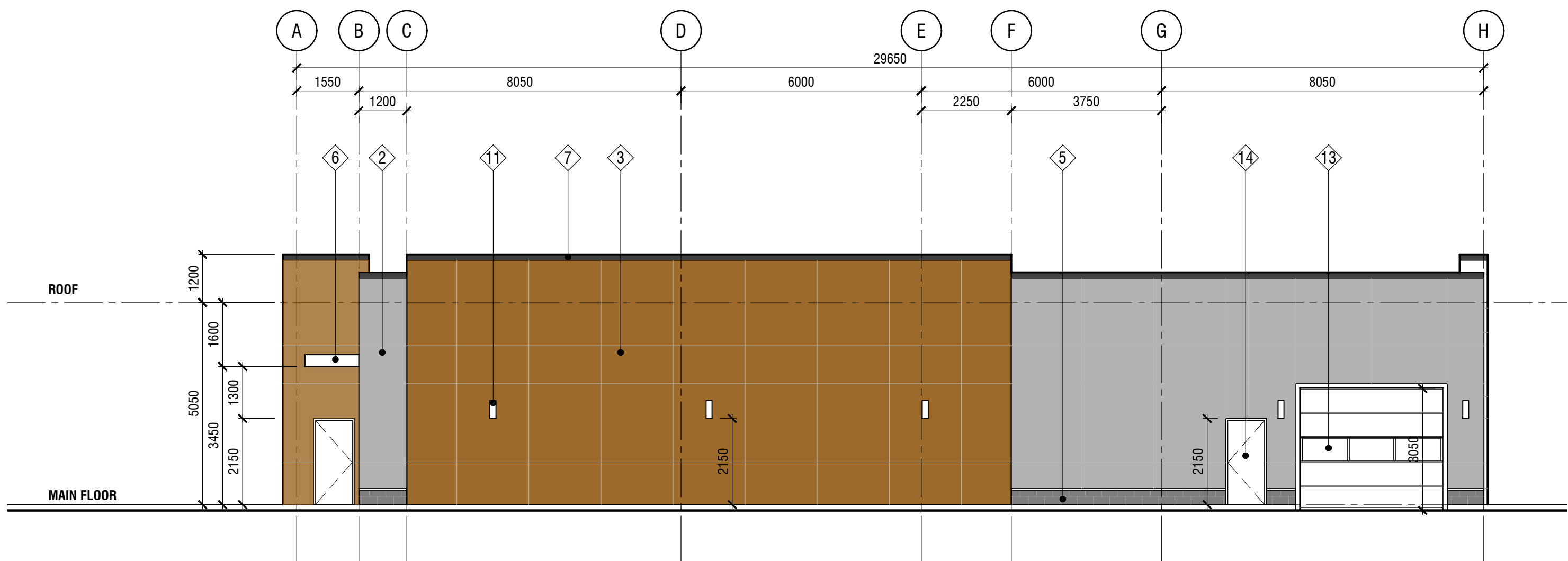
BUILDING 4:
SOUTH SIDE ELEVATION
1
4-200
SCALE 1:100 M



BUILDING 4:
EAST SIDE ELEVATION
2
4-200
SCALE 1:100 M



BUILDING 4:
NORTH SIDE ELEVATION
3
4-200
SCALE 1:100 M



BUILDING 4:
WEST SIDE ELEVATION
4
4-200
SCALE 1:100 M

EXTERIOR FINISHING MATERIAL LEGEND:

1. PAINTED PRECAST CONCRETE SANDWICH PANEL;
COLOUR - BUFF OR SAND
2. PAINTED PRECAST CONCRETE SANDWICH PANEL;
COLOUR - LIGHT GREY
3. PAINTED PRECAST CONCRETE SANDWICH PANEL;
COLOUR - BROWN
4. POWDER-COATED STEEL TUBULAR ON STEEL CHANNEL;
COLOUR - WOOD-LOOK / DARK BROWN
5. BRICK VENEER BASE; COLOUR - DARK GREY
6. METAL CANOPY; PAINTED - DARK GREY
7. PRE-FINISHED METAL FLASHING; COLOUR - DARK GREY
8. SEALED GLAZING UNIT IN CLEAR ANODIZED ALUM.
FRAME; COLOUR-CAP DARK GREY
9. DIMENSIONAL SIGNAGE LETTERS; BACK LIT
10. TENANT SIGNAGE; BY OTHERS
11. WALL-MOUNTED EXTERIOR LIGHT FIXTURE
12. MECHANICAL SCREENING
13. OVERHEAD SECTIONAL GARAGE DOOR: COLOUR - OFF
WHITE OR LIGHT GREY
14. PAINTED STEEL DOOR: COLOUR - LIGHT GREY

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS
OF SERVICE ARE THE PROPERTY OF ARUP DATTA
ARCHITECT LTD. THE COPYRIGHT BEING RESERVED
TO THEM.
NO REPRODUCTION ALLOWED WITHOUT THE
PERMISSION OF ARUP DATTA ARCHITECT LTD. AND
WHEN MADE, MUST BEAR ITS NAME.
THIS DRAWING IS NOT TO BE USED FOR
CONSTRUCTION PURPOSES UNLESS SIGNED BY THE
CONSULTANT.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL
DIMENSIONS & DATA, AND REPORT ERRORS AND
OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:

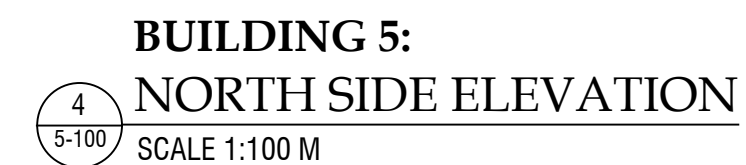
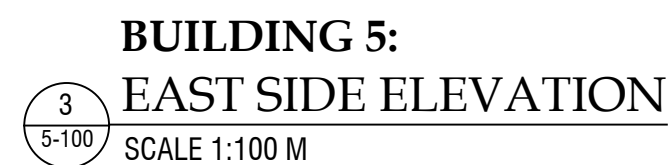
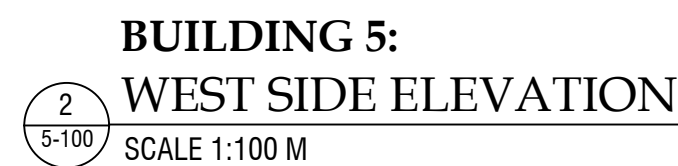
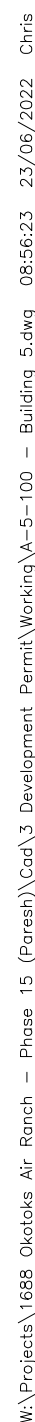
ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8982
E-MAIL: adatt@telus.net

RECEIVED-DIGITALLY
June 23, 2022
DPR 128-22
TOWN OF OKOTOKS

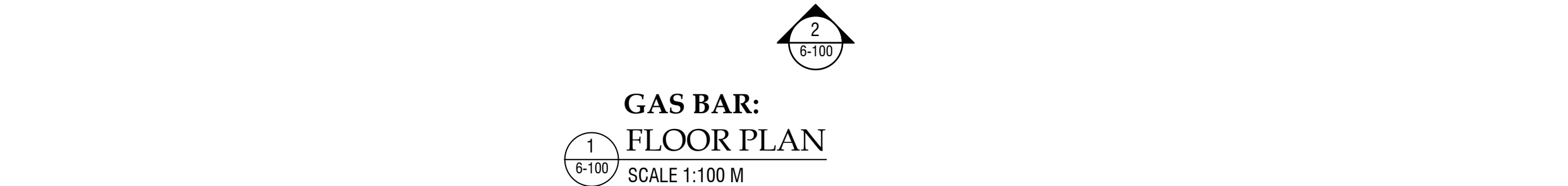
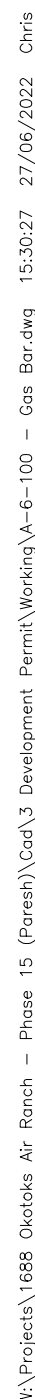
NO.	DATE	DESCRIPTION
3	2022-09-23	REVISED FOR DEVELOPMENT PERMIT
2	2022-05-04	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP
ISSUED FOR / REVISIONS		
ARUP DATTA ARCHITECT LTD.		
ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN		

PROJECT #:	1688
PROJECT:	AIR RANCH PLAZA OKOTOKS, ALBERTA
DRAWING:	BUILDING 4: ELEVATIONS
DRAWING #:	1688- DP-4-200
SCALE:	1:100 M
DESIGN BY:	AD
DRAWN BY:	CS
CHECKED BY:	AD



1. PAINTED PRECAST CONCRETE SANDWICH PANEL;
COLOUR - BUFF OR SAND
2. PAINTED PRECAST CONCRETE SANDWICH PANEL;
COLOUR - LIGHT GREY
3. PAINTED PRECAST CONCRETE SANDWICH PANEL;
COLOUR - BROWN
4. POWDER-COATED STEEL TUBULAR ON STEEL CHANNEL;
COLOUR - WOOD-LOOK / DARK BROWN
5. BRICK VENEER BASE; COLOUR - DARK GREY
6. METAL CANOPY; PAINTED - DARK GREY
7. PRE-FINISHED METAL FLASHING; COLOUR - DARK GREY
8. SEALED GLAZING UNIT IN CLEAR ANODIZED ALUM.
FRAME; COLOUR-CAP DARK GREY
9. DIMENSIONAL SIGNAGE LETTERS; BACK LIT
10. TENANT SIGNAGE; BY OTHERS
11. WALL-MOUNTED EXTERIOR LIGHT FIXTURE
12. MECHANICAL SCREENING
13. OVERHEAD SECTIONAL GARAGE DOOR: COLOUR - OFF
WHITE OR LIGHT GREY
14. PAINTED STEEL DOOR: COLOUR - LIGHT GREY

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD., THE COPYRIGHT BEING RESERVED TO THEM.	
NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD., AND WHEN MADE, MUST BEAR ITS NAME.	
THIS DRAWING MUST NOT BE SCALED.	
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.	
PRIME CONSULTANT:	
ARCHITECTURAL	
ARUP DATTA ARCHITECT LTD. 337 17TH AVENUE, S.W. CALGARY, ALBERTA T2S 0A5 TEL: (403) 244-8818 FAX: (403) 244-8982 E-MAIL: adai@telus.net	
RECEIVED-DIGITALLY June 23, 2022 DP# 128-22 TOWN OF OKOTOKS	
No.	DATE DESCRIPTION
1	2021-01-08 ISSUED FOR PRE-APP
2	2022-05-04 ISSUED FOR DEVELOPMENT PERMIT
3	2022-06-03 RE-ISSUED FOR DEVELOPMENT PERMIT
ISSUED FOR / REVISIONS △	
 ARUP DATTA ARCHITECT LTD. 337 - 17th Avenue S.W., Calgary, Alberta T2S 0A5 Tel: 403-244-8818 Fax: 403-244-8982 ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN	
PROJECT #: 1688	
PROJECT:	
AIR RANCH PLAZA	
OKOTOKS, ALBERTA	
DRAWING: BUILDING 5: FLOOR PLAN & ELEVATIONS	
DRAWING #: 1688-	
DP-5-100	
SCALE: 1:100 M	
DESIGN BY:	DRAWN BY: CHECKED BY:
AD	CS AD



1. ALUM. COMPOSITE PANEL; COLOUR - BUFF OR SAND
2. ALUM. COMPOSITE PANEL; COLOUR - BROWN
3. CORRUGATED METAL PANEL-VERTICAL; COLOUR - DARK GREY
4. PRE-FINISHED METAL FLASHING; COLOUR - DARK GREY
5. DIMENSIONAL SIGNAGE LETTERS; BACK LIT
6. TENANT SIGNAGE / LOGO; BY OTHERS
7. WALL-MOUNTED EXTERIOR LIGHT FIXTURE (TYPE-1)

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAR ITS NAME.

THIS DRAWING MUST NOT BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS GIVEN BY THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8982
E-MAIL: alpha@telus.net

[illegible]

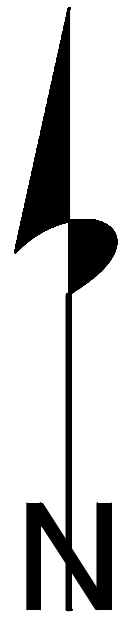
3	2022-08-23	RE-ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-04	ISSUED FOR DEVELOPMENT PERMIT
1	2021-07-08	ISSUED FOR PRE-APP

No.	DATE	DESCRIPTION
ISSUED FOR / REVISIONS 		



DESIGN BY: AD	DRAWN BY: CS	CHECKED BY: AD
------------------	-----------------	-------------------

RECEIVED-DIGITALLY
June 23, 2022
DPR 128-22
TOWN OF OKOTOKS



TOPOGRAPHIC SURVEY
OF
PORTION OF BLOCK 1, PLAN 011 0204
WITHIN
N.E. 1/4 SEC.27, TWP.20, RGE.29, W.4M
OKOTOKS, ALBERTA

NOTES:
- ALL DISTANCES SHOWN ARE IN METRES AND DECIMALS THEREOF
- BEARINGS ARE GRID AND DERIVED FROM ASCMs 406736 and 389502
- ALL ELEVATIONS ARE GEODETIC AND DERIVED FROM ASCM 406736, ELEVATION 1002.955
D.A.T.U.M. NAD 83
PROJECTION 3° TRANSVERSE MERCATOR
REFERENCE MERIDIAN 114° WEST

DATE OF SURVEY
MAY 13, 2021

LEGEND
Spot elevations are shown thus
Subject Property is shown thus
Utility Right of Ways are shown thus
Fences are shown thus
Building foundation shown thus
Bottom of Loom Pile shown thus
Catch Basins shown thus
Manhole shown thus
Sign shown thus
Light Standards shown thus
Water valves shown thus
Gas stabs shown thus
Bollards shown thus
Fire Hydrant shown thus
Deciduous Tree shown thus
Tree Canopy shown thus

ABBREVIATIONS
A.S.C.M. Alberta Survey Control Marker
C.B. Catch Basin
E. East
Elev. Elevation
F. Fence
I. Stationary Iron Post
M. Manhole
M.H. Man Hole
N. North
NAD North American Datum
R. Road
R.W. Right of Way
U.R.W. Utility Right of Way
STM 3° Transverse Mercator
S. South
W. West

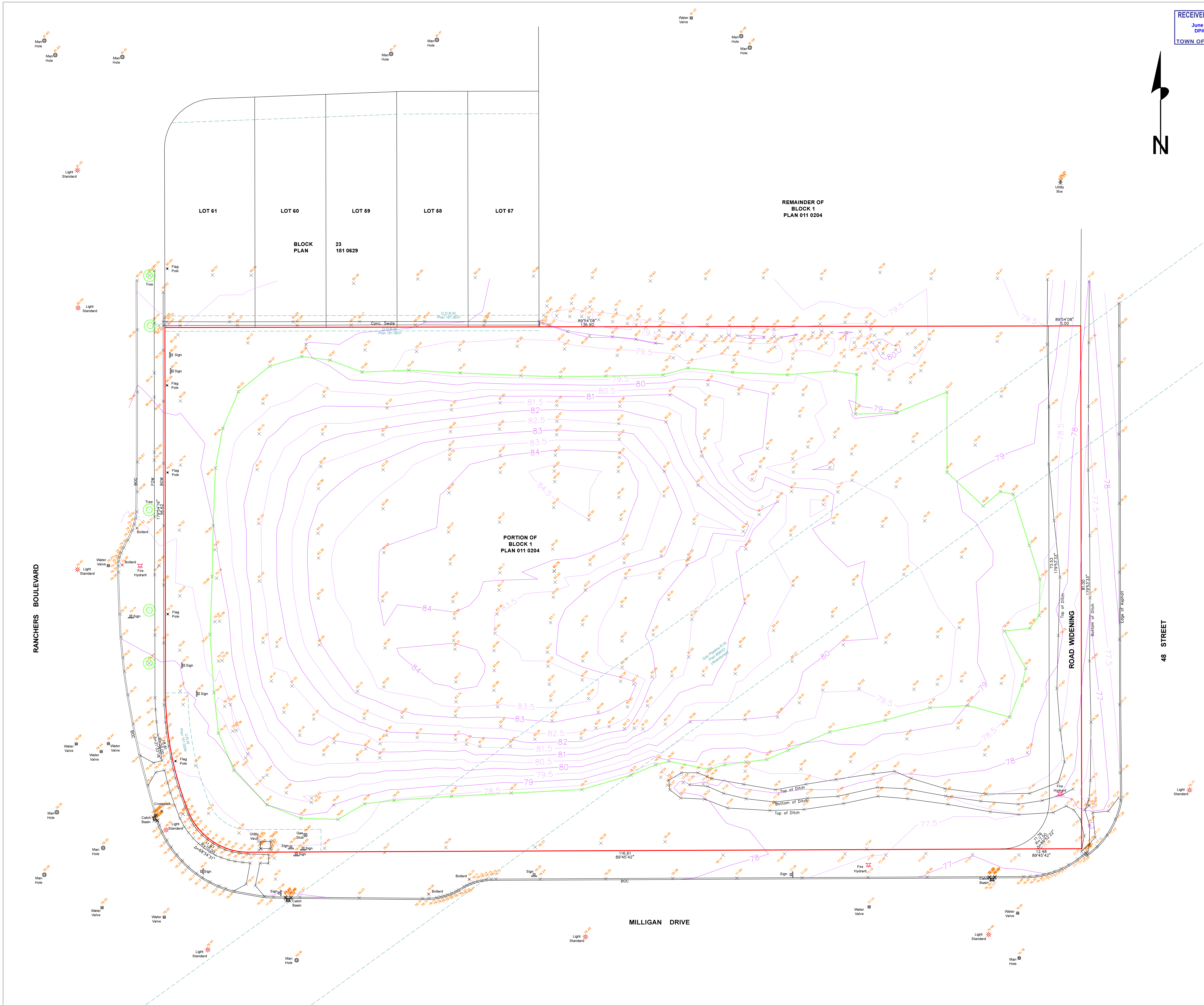
SCALE 1:200
METRES

CLIENT:
VIBE DEVELOPMENTS

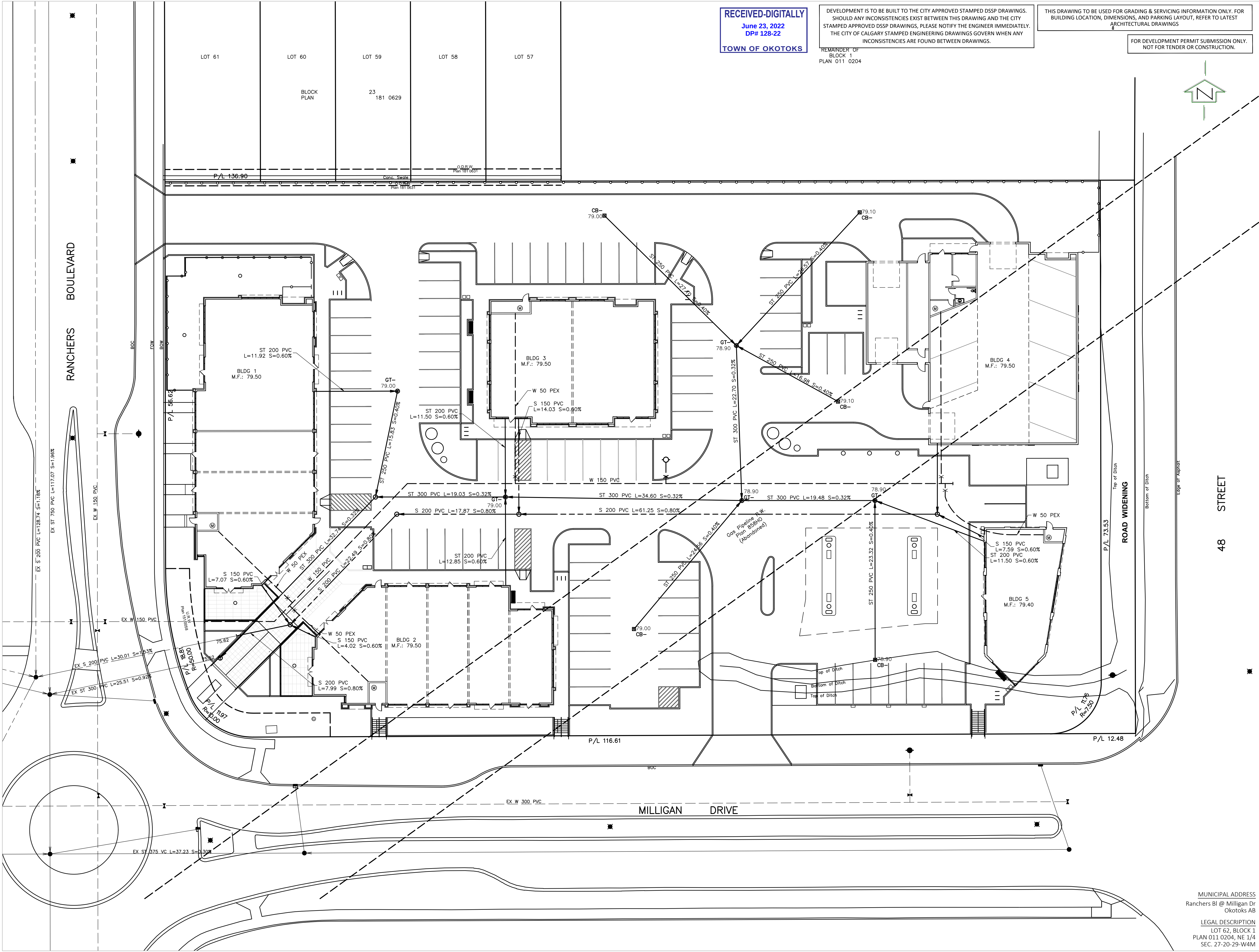
REVISION TABLE			
REV	DESCRIPTION	DATE	APPROVED
1			
2			
3			
4			
5			



DATE: JUNE 4, 2021
DRAWN BY: CO
CHECKED BY: MB
TOTAL GEOMATICS & CONSULTING INC.
93 ROYAL CREST VIEW N.W., CALGARY
T2B 0H0, ALBERTA, PH: (403) 438-3805
FAX: (403) 438-3805
ACAD FILE NO: T2B-4193810



S:\2022-22-061\1 Drawings\22-061.dwg, 6/22/2022 3:59:43 PM, AutoCAD PDF (General Documentation).pc3, MAP0Y



RECEIVED-DIGITALLY
June 23, 2022
DP# 128-22
TOWN OF OKOTOKS

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS.
SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY
STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY.
THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY
INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.

THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR
BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST
ARCHITECTURAL DRAWINGS

FOR DEVELOPMENT PERMIT SUBMISSION ONLY.
NOT FOR TENDER OR CONSTRUCTION.

REMAINDER OF
BLOCK 1
PLAN 011 0204



Municipal Engineering • Industrial, Commercial, & Residential Land
Development • Planning • Engineering • Surveys

3702 Edmonton Trail N.E., Calgary, Alberta, T2E 3P4
www.jubileeengineering.com
P 403 276 1001 | F 403 276 1012 |

PERMIT

STAMP

NOTES

- All elevations referenced to 1000m Geodetic Datum.
- Hydrants, valves, check valves, manholes, sewer lines etc., to be installed to City of Calgary standards.
- All manholes to be S.R.C.
- Match crown minimum at all sewer connections.
- All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes <= to 150mm to be SDR 28 PVC. Sewer service pipes > than 150mm to be SDR 35.
- Sewer lines to minimum slopes as per City of Calgary Standards.
- Use City of Calgary Type 2 Installation, Class 1A bedding for sewer pipes unless unwise noted.
- Insulation required for sanitary sewers if cover less than 2.50m on mains.
- Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
- All water mains to be DR 18 PVC unless otherwise noted.
- Use City of Calgary Type 1 Installation, Class 1A bedding for water mains, Type 2 installation, class 'B' bedding for services.
- Depth of bury for water lines to conform with City of Calgary standards.
- No trees to be planted over water line(s).
- Protection of Potable Water Supply From Contamination: All Cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
- For building locations and dimensions refer to latest Architectural drawings.
- The contractor is responsible for locating all shallow utilities.
- The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
- Weeping Tile & Free Flow area drains to be tied to unrestricted free flow storm sewer.
- All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.

LEGEND

	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Water meter location
	Existing elevation
	Sanitary manhole number & elevation
	CB/GT/ST-1
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

REVISIONS

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

ISSUED FOR

No.	DATE	DESCRIPTION	DATE	APP.
4		AS-BUILT		
3		FOR CONSTRUCTION		
2		FOR TENDER		
1		DEVELOPMENT PERMIT		
No.		DRAWING STATUS		

CLIENT

ARUP DATTA ARCHITECT

PROJECT

RETAIL COMMERCIAL DEVELOPMENT
RANCHERS BL @ MILLIGAN DR
AIR RANCH, OKOTOKS

TITLE

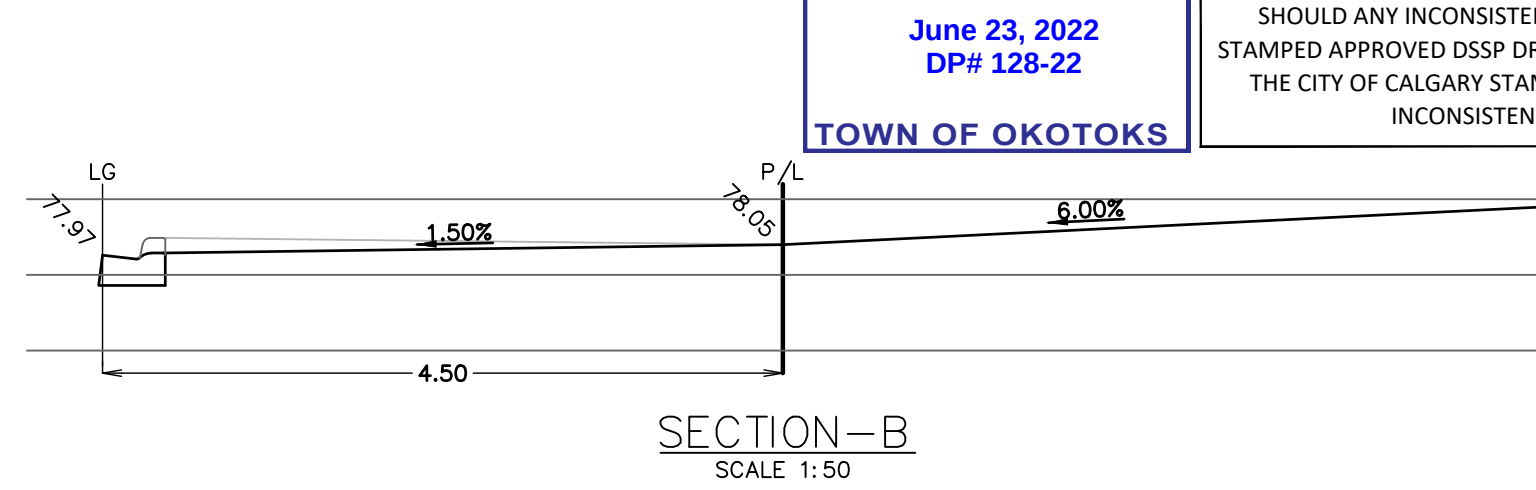
SITE SERVICING PLAN

MUNICIPAL ADDRESS
Ranchers Bl @ Milligan Dr
Okotoks AB

LEGAL DESCRIPTION

LOT 62, BLOCK 1
PLAN 011 0204, NE 1/4
SEC. 27-20-29-W4M

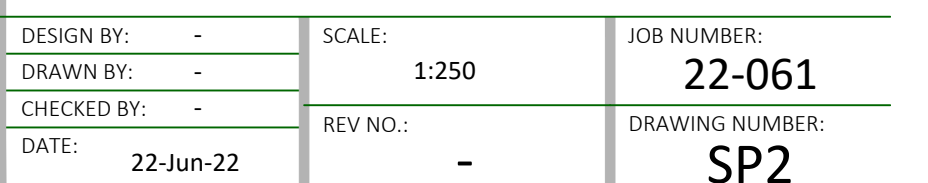
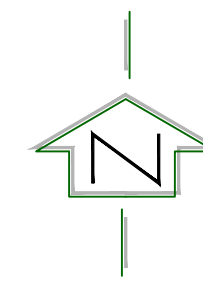
DESIGN BY: -	SCALE: 1:250	JOB NUMBER: 22-061
DRAWN BY: -	REV NO.: -	DRAWING NUMBER: SP1
CHECKED BY: -		
DATE: 22-Jun-22		



TOWN OF OKOTOKS

THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR
BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST
ARCHITECTURAL DRAWINGS

FOR DEVELOPMENT PERMIT SUBMISSION ONLY.
NOT FOR TENDER OR CONSTRUCTION.





TREES REQUIRED

- =72 TREES REQUIRED

- =79 SHRUBS REQUIRED

- 40% OF TREES TO BE CONIFEROUS: $72 \times 40\% = 29$ TREES
- 50% CONIFEROUS TREES TO BE MIN. 2.0m HT. = 15 TREES
- 50% CONIFEROUS TREES TO BE MIN. 3.0m HT. = 14 TREES

- 50% DECIDUOUS TREES TO BE MIN. 50mm CAL. = 22 TREES
- 50% DECIDUOUS TREES TO BE MIN. 75mm CAL. = 21 TREES

- MIN. 2.0M HT. = 16 TREES
- MIN. 3.0M HT. = 16 TREES

- MIN. 50 mm CAL. = 26 TRE
- MIN. 75 mm CAL. = 25 TRE

= 83 TREES

= 117 SHRUBS

THUNDERCHILD CRAB

SPRING SNOW CRAB

GREENSPIRE LINDEN

SUNDANCER POPLAR

SWISS STONE PINE

BLUE COLUMNAR SPRUCE

LODGEPOLE PINE

EXISTING TREES

HOT WINGS

TATARIAN MAPLE

CALGARY CARPET JUNIPER

NEW BLUE TAM JUNIPER

QUICK FIRE HYDRANGEA

THREE LOBED SPIREA

SUMMER WINE NINEBARK

AMPER JUBILEE NINEBARK

SIBERIAN VAR. DOGWOOD

SKYROCKET JUNIPER

SUNATION BARBERRY

RUBY CAROUSEL BARBERRY

OVERDAM GRASS

SOD ON 300 mm DEPTH TOPSOIL

BLACK PRO EDGING FOR BEDS

STANDARD PICNIC TABLE-SEE DPL-2
COLOR - REDWOOD

WHEEL CHAIR ACCESSIBLE PICNIC TABLE-SEE DPL-2
COLOR - REDWOOD

UPRIGHT PORTABLE PLANTERS-SEE DPL-2
SEASONAL FLOWERS

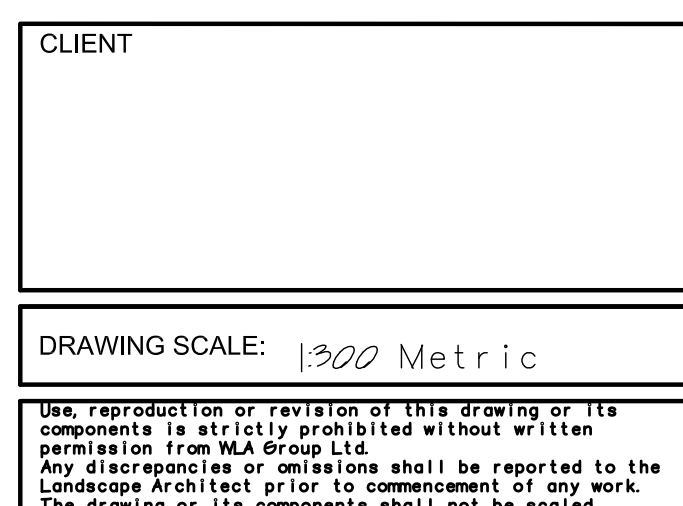
RECYCLE STATION-SEE DPL-2

1. CONTRACTOR TO CALL FIRST CALL AT 1-800-242-3447 TO HAVE EXISTING UTILITIES LOCATED PRIOR TO START OF ANY CONSTRUCTION.
2. CONTRACTOR TO ENSURE THAT ALL NECESSARY ARRANGEMENTS ARE MADE WITH THE PIPELINE COMPANIES CONCERNING THE MOVEMENT OF MATERIALS AND EQUIPMENT NEAR ANY PIPELINE RIGHT OF WAYS.
3. CONTRACTOR IS RESPONSIBLE FOR THE HOARDING OF ALL TREE WITHIN OR ADJACENT TO CONSTRUCTION AREAS.
4. CONTRACTOR IS RESPONSIBLE FOR HAULING OF ALL EXCESS MATERIALS OFF THE SITE.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO LANDSCAPED AREAS AND MUST MAKE ALL NECESSARY RESTORATIONS AND REPAIRS.
6. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
7. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION STARTING.
8. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.
9. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK AND SHALL MEET OR EXCEED THE SPEC'S OF THE CDN NURSERY TRADES ASSOC. FOR SIZE, HT. SPREAD, GRADING QUALITY AND METHOD OF CULTIVATION.
10. NO SUBSTITUTIONS OF MATERIALS, PRODUCTS OR QUANTITIES WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
11. AREAS TO RECEIVE SED TO HAVE TOPSOIL TO A DEPTH OF 150mm, AREAS TO RECEIVE SEED TO HAVE TOPSOIL TO A DEPTH OF 150mm, AREAS FOR PLANTING BEPS TO A DEPTH OF 600mm.
12. ALL PLANT MATERIAL AND WORKMANSHIP TO CONFORM TO THE REQUIREMENTS OF THE TOWN OF OKOTOKS DESIGN AND CONSTRUCTION STANDARDS IN ITS MOST RECENT EDITION.
13. 120mm DEPTH SHREDDED BARK MULCH IN ALL PLANTING BEPS.
14. PLANTING TO HAVE LOW WATER IRRIGATION.

QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES				
5	THUNDERCHILD CRAB	MALUS THUNDERCHILD	50 mm CAL.	B&B
16	COLUMNAR BLUE SPRUCE	PICEA PUNGENS FASTIGIATA	2000 mm HT.	B&B
10	COLUMNAR BLUE SPRUCE	PICEA PUNGENS FASTIGIATA	3000 mm HT.	B&B
2	SWISS STONE PINE	PINUS CEMBRA	3000 mm HT.	B&B
25	SUNDANCER POPLAR	POPULUS TREM SUNDANCER	75 mm CAL.	B&B
11	SUNDANCER POPLAR	POPULUS TREM SUNDANCER	50 mm CAL.	B&B
4	SPRING SNOW CRAB	MALUS SPRING SNOW	50 mm CAL.	B&B
4	GREENSPIRE LINDEN	TILIA CORDATA GREENSPIRE	50 mm CAL.	B&B
4	LODGEPOLE PINE	PINUS CONTORTA LATIFOLIA	3000 mm HT.	B&B
2	HOT WINGS TATARIAN MAPLE	ACER TATARICA HOT WINGS	50 mm CAL.	B&B
SHRUBS				
19	NEW BLUE TAM JUNIPER	JUNIPERUS SABINA 'TAM. NEW BLUE'	600 mm DIA	POTTED
10	SUMMER WINE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	600 mm HT	POTTED
8	THREE LOBED SPIREA	SPIRAEA TRILOBA	600 mm HT	POTTED
6	SUNGATION BARBERRY	BERBERIS THUNB. SUNGATION	600 mm HT	POTTED
10	SKYROCKET JUNIPER	JUNIPERUS SCOPULORUM SKYROCKET	1800 mm HT	POTTED
12	CALGARY CARPET JUNIPER	JUNIPERUS SABINA CALGARY CARPET	600 mm DIA	POTTED
10	AMBER JUBILEE NINEBARK	PHYSOCARPUS OPUL. AMBER JUBILEE	600 mm HT	POTTED
6	SIBERIAN VAR. DOGWOOD	CORNUS ELEGANTISSIMA	600 mm HT	POTTED
16	RUBY CAROUSEL BARBERRY	BERBERRIS THUNBERGII 'BAILONE'	600 mm HT	POTTED
17	QUICK FIRE HYDRANGEA	HYDRANGEA PANICULATA 'BULK'	600 mm HT	POTTED
3	LIMELIGHT PRIME HYDRANGEA	HYDRANGEA PANICULATA 'SMNHPPH'	600 mm HT	POTTED
PERENNIALS				
65	OVERDAM GRASS	CALAMAGROTIS 'OVERDAM'	2 YEAR	CONTAINER



SUB - CONSULTANT
SUB - CONSULTANT



PROJECT	
AIR RANCH PLAZA	
LOT 62 BLOCK 1	
OKOTOKS ALBERTA	
DRAWING	
LANDSCAPE PLAN	DPL-1

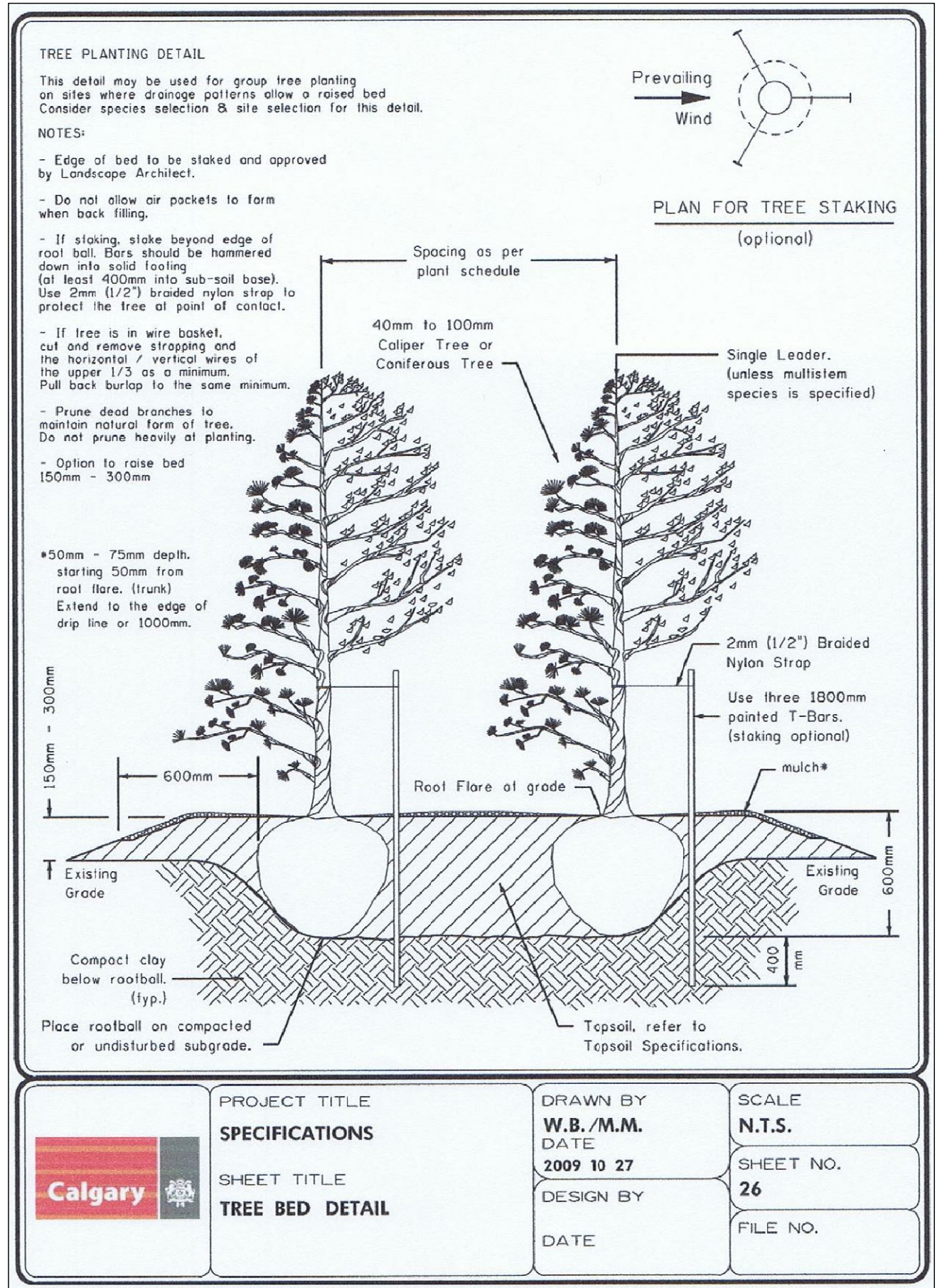
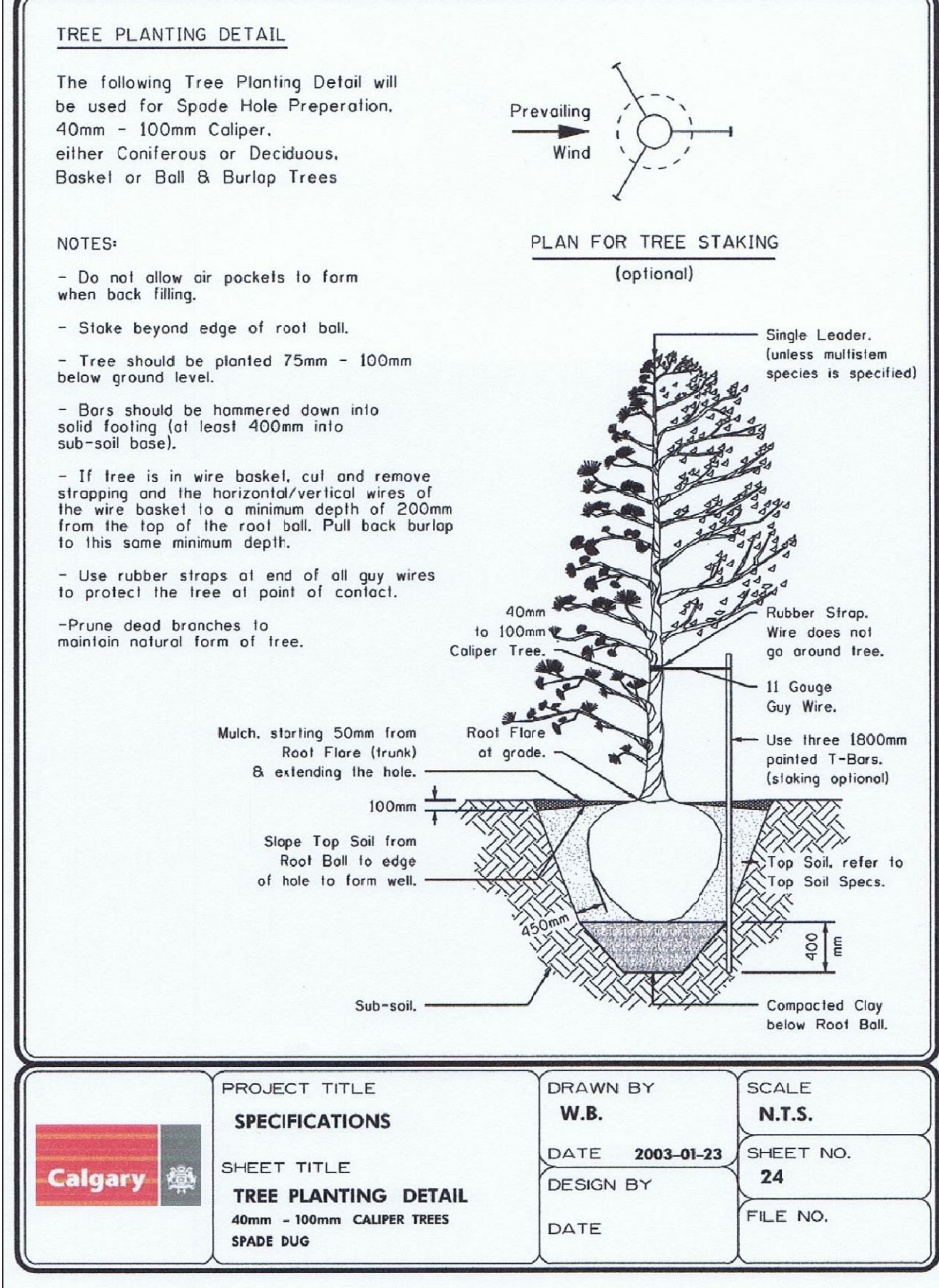
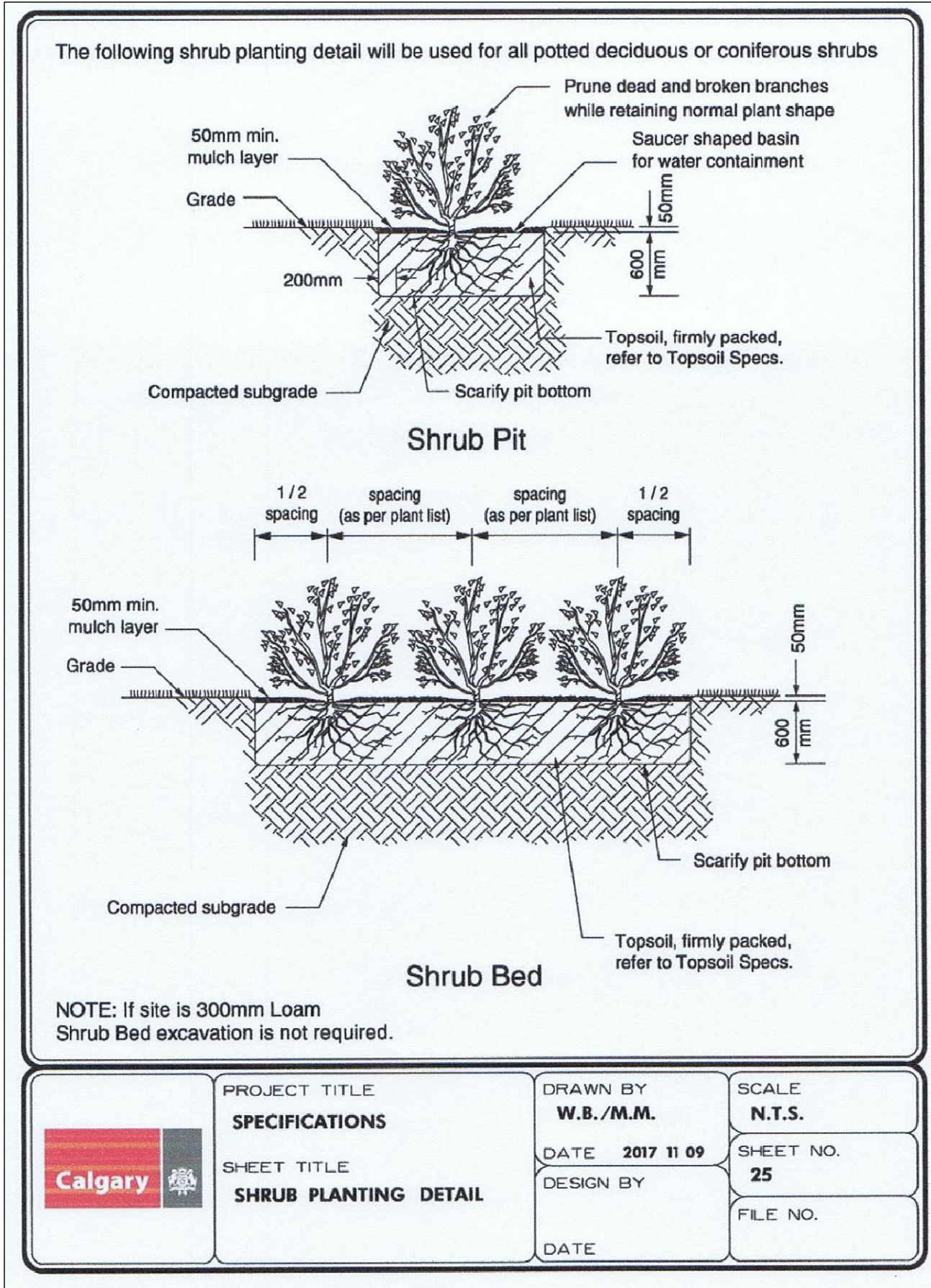
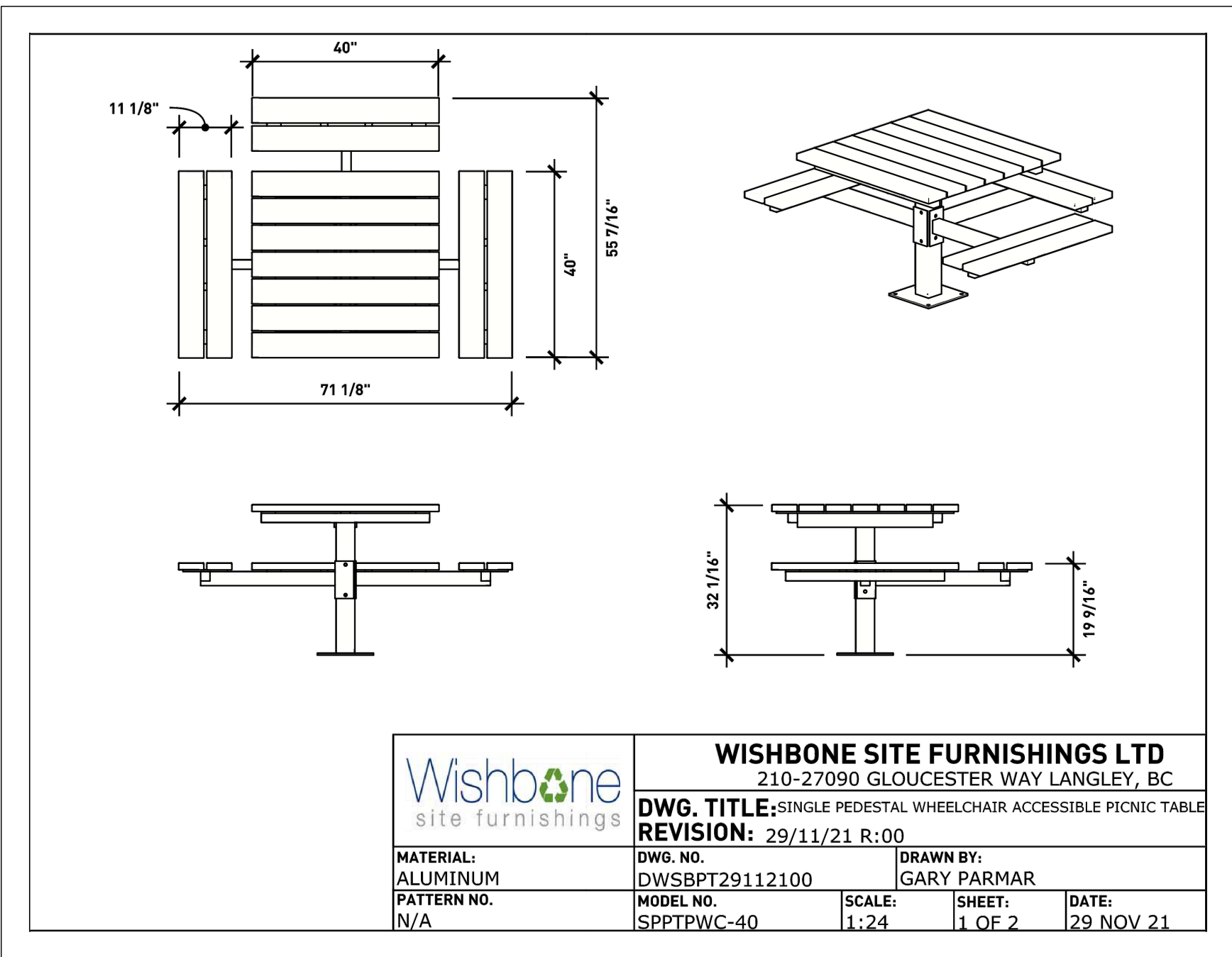


Table 4-2: Tree Separations To Utilities							
Deep Utilities	Poplar		Deciduous		Coniferous		
	Services	Mains Parallel to tree line	Services Medians	Bvds	Mains Parallel to tree line	Services Medians	Bvds
Sanitary	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b	3.0 m
Storm (<4.5 m deep)	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b	3.0 m
Water	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b	3.0 m
Hydrants	3.0 m	4.0 m	N/A	2.5 m	2.5 m	N/A	3.0 m
Shallow Utilities	Poplar		Deciduous		Coniferous		
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	
ATCO	2.0 m ^a	2.0 m ^a	2.0 m	2.0 m	2.0 m ^a	2.0 m ^a	
TELUS	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a	
CTV	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a	
ENMAX	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a	
Enmax	Poplar		Deciduous		Coniferous		
Overhead (to outside conductor)	9.0 m		7.0 m - 9.0 m		7.0 m - 9.0 m		
Transformers (within Utility Rights of Way)	N/A (Tree planting not permitted within Utility Rights-of-Way)						
Street Light Poles	Poplar		Deciduous		Coniferous		
	5.0 m		4.0 m - 5.0 m		Min. 4.0 m		

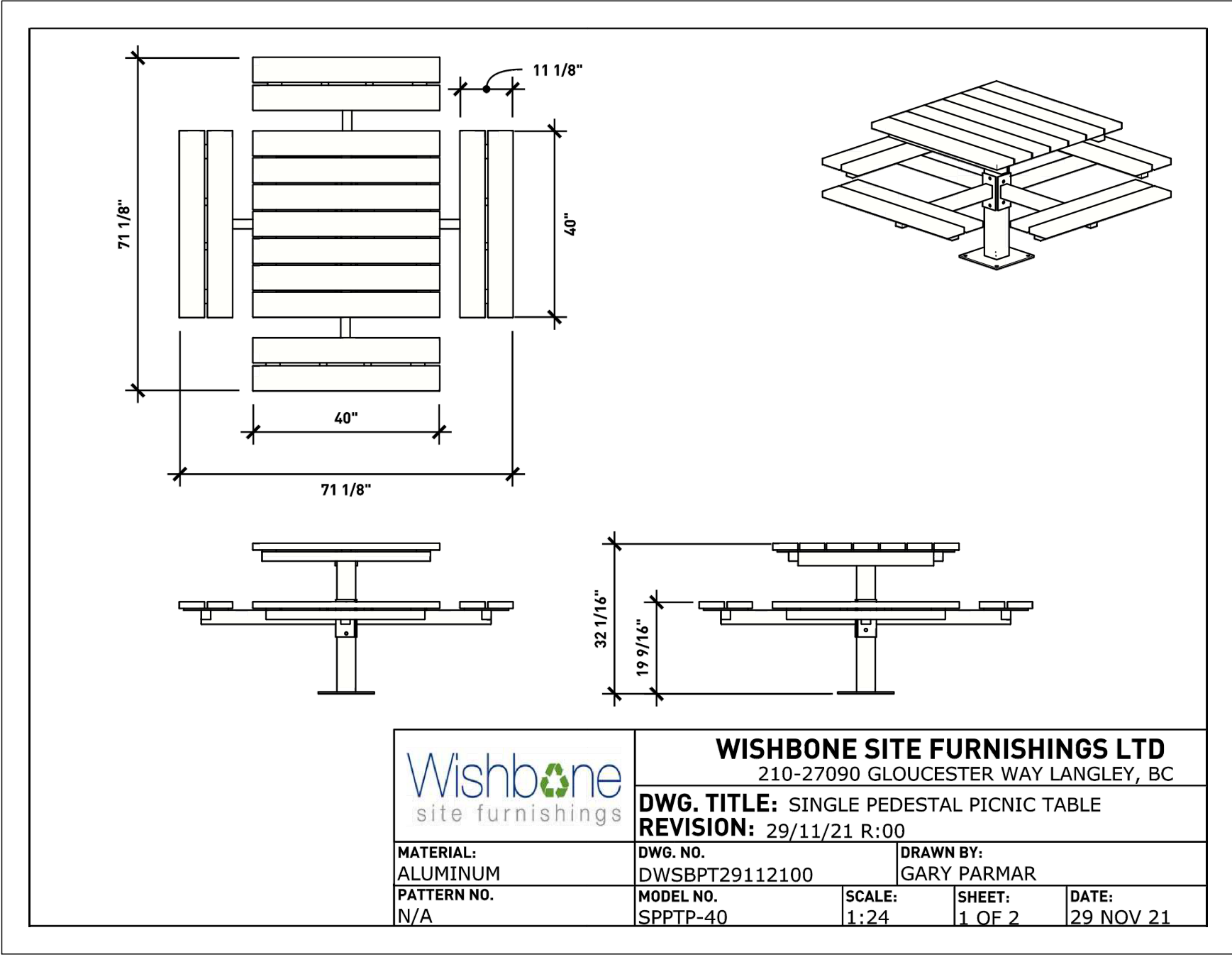
Notes: a) A 3.0 m separation may be required at the discretion of the utilities.
b) Pipe joints are not permitted on water or sewer services located under medians.
c) Trees on residential (15.0 m RoW) boulevards, with no sidewalks, can be planted 1.0 m from driveways. Driveway crossings are to be aligned, wherever possible, to allow space for tree planting.



PORTABLE PLANTERS - See DPL1



WHEEL CHAIR ACCESSIBLE PICNIC TABLE- See DPL1



STANDARD PICNIC TABLE- See DPL1



RECYCLE STATION- See DPL1

4									
3									
2									
1	ADDED DETAILS FOR PICNIC TABLES	BEW	22/06/22	BEW					
NO.	REVISIONS	BY	DATE	APPROD	NO.	REVISIONS	BY	DATE	APPROD

SUB - CONSULTANT	
SUB - CONSULTANT	



CLIENT	
DRAWING SCALE:	
Use, reproduction or revision of this drawing or its components is strictly prohibited without written permission from W.L.A. Group Ltd. Any discrepancies or omissions shall be reported to the Landscape Architect prior to commencement of any work. The drawing or its components shall not be scaled.	

DRAWN	DATE
BEW	JUNE 22, 2022
DESIGNED	DATE
BEW	JUNE 22, 2022
CHECKED	DATE
BEW	JUNE 22, 2022
ISSUED FOR DEVELOPMENT PERMIT	DATE
JUNE 22, 2022	
ISSUED FOR CONSTRUCTION	DATE

PROJECT	AIR RANCH PLAZA LOT 62 BLOCK 1 OKOTOKS ALBERTA
---------	--

DRAWING	DETAILS AND CUT SHEETS
---------	------------------------

LEGAL ADDRESS: LOT 62, BLOCK 1, PLAN 001 0204 OKOTOKS, ALBERTA

RECEIVED-DIGITALLY

TOWN OF OKOTOKS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD.. THE COPYRIGHT BEING RESERVED TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD., AND WHEN MADE, MUST BEAR ITS NAME.

THIS DRAWING MUST NOT BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
337 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 244-8818 FAX: (403) 244-8983
E:MAIL: adal@telus.net

LOCAL ARCHITECT

NAME
ADDRESS
CITY, PROVINCE POSTAL
TEL: (000) 000-0000 FAX: (000) 000-000
E:MAIL:

SUB-CONSULTANTS:

STRUCTURAL

NAME _____
ADDRESS _____
CITY, PROVINCE, POSTAL _____
TEL: (000) 000-0000 FAX: (000) 000-000 _____
E-MAIL: _____

MECHANICAL

NAME _____
ADDRESS _____
CITY, PROVINCE POSTAL _____
TEL: (000) 000-0000 FAX: (000) 000-0000
E-MAIL: _____

ELECTRICAL

NAME
ADDRESS
CITY, PROVINCE POSTAL
TEL: (000) 000-0000 FAX: (000) 000-000
E-Mail:

Hvac

NAME
ADDRESS
CITY, PROVINCE POSTAL
TEL: (000) 000-0000 FAX: (000) 000-000
E-MAIL:

CIVIL

NAME
ADDRESS
CITY, PROVINCE POSTAL
TEL: (000) 000-0000 FAX: (000) 000-000
E-MAIL:

LANDSCAPE

NAME _____
ADDRESS _____
CITY, PROVINCE POSTAL _____
TEL: (000) 000-0000 FAX: (000) 000-0000
E-MAIL: _____

NOTE: MOUNTING IS INDICATED FROM FINISHED FLOOR TO CENTER OF DEVICE. MOUNTING HEIGHTS INDICATED ON DRAWINGS OR SPECIFICATIONS HAVE PRECEDENCE OVER THIS LEGEND. ANY UNLISTED MOUNTING HEIGHTS TO BE CONFIRMED PRIOR TO INSTALLATION.

NOTE: APPROVED ALTERNATIVE MANUFACTURERS MAY BE ACCEPTED.

1. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
2. CONDUCTOR SIZES INDICATED IS MINIMUM REQUIRED. INCREASE CONDUCTOR SIZE (AND CONDUIT SIZE WHERE APPLICABLE) TO ACCOMMODATE VOLTAGE DROP PER CEC REQUIREMENTS.

LEGAL DESCRIPTION

LOT 62, BLOCK 1, PLAN 001 0204 OKOTOKS, AB

[illegible]

1.	22/04/21	DEVELOPMENT PERMIT
No.	DATE	DESCRIPTION
ISSUED FOR / REVISIONS 		

 **ARUP DATTA
ARCHITECT LTD.**

337 - 17th AVENUE S.W., CALGARY, ALBERTA
T2S 0A5 Tel: (403) 244-5810 Fax: (403) 244-5882

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

 **EMBE**
innovative Sustainable

EMBE CONSULTING ENGINEERS
SUITE 204, 110 12TH AVENUE, S.W.
CALGARY, AB, T2R 0G7
403-460-2277
info@embeconsulting.ca

PROJECT #: 22162		
PROJECT: AIR RANCH PLAZA OKOTOKS, ALBERTA		
DRAWING: SITE PLAN - ELECTRICAL		
DRAWING #: E101		
SCALE: AS SHOWN		
DESIGN BY: JL	DRAWN BY: JL	CHECKED BY: DK

